

1. THE CONTRACTOR AND SUBCONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT ALL QUESTIONABLE CONDITIONS TO THE DESIGNER BEFORE STARTING THE WORK.
2. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
3. COORDINATE ALL PORTIONS OF THE WORK.
4. DIMENSIONS SHOWN ON FLOOR PLAN ARE STUD DIMENSIONS - FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.
5. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW FOR EMERGENCY EGRESS. ALL EGRESS WINDOWS TO MEET LOCAL CODES AND REGULATIONS.
6. FROM THE BOTTOM OF THE GLAZING TO THE LOWEST LOCATION: ANY BATHROOM WINDOWS WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 80" ABOVE THE F.F.E., ALL STAIR CASES, ALL WINDOWS WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 12" ABOVE THE F.F.E., AND ALL INTERIOR DOORS WITH GLAZING.
7. WINDOWS TO BE SCREWED AND INSTALLED TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
8. ALL BOTTOM FLATES, INTERIOR AND EXTERIOR, TO BE TREATED LUMBER.
9. WALLS LESS THAN 5' TO PROPERTY LINE ARE REQUIRED TO HAVE A ONE HOUR FIRE RATING.
10. BATHROOM EXHAUST FANS SHOULD BE TERMINATED AT LEAST 10' ABOVE INSULATION OR VENTED THROUGH ROOF IF SPRAY FOAM IS USED.
11. SHOWER WALLS MUST USE CEMENT BACKER BOARD WHEN TILE IS INSTALLED.

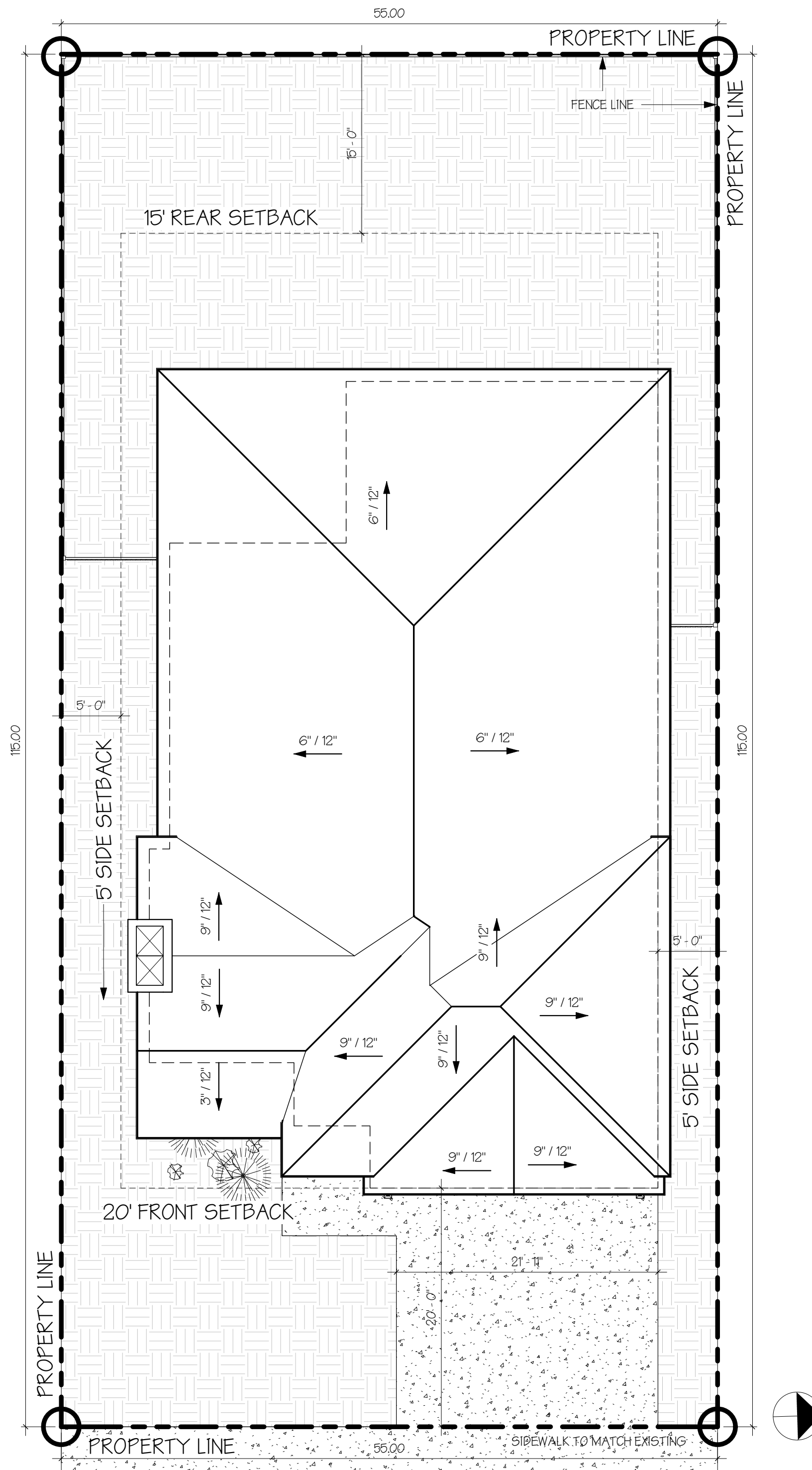
HEATED & COOLED OB:	1882 SF
HEATED & COOLED OF:	1819 SF
<hr/>	
FIRST FLOOR LIVING:	1819 SF
GARAGE:	560 SF
FRONT PORCH:	120 SF
BACK PORCH:	200 SF
<hr/>	
TOTAL OF:	2699 SF

BRACED WALL PANEL

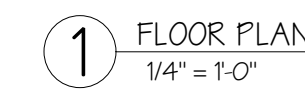
ALTERNATE BRACED WALL PANEL

LAMINATED BEAM

SEE WALL BRACING DETAILS ON SHEET A3



2 SITE PLAN  
1/8" = 1'-0"



Checked by:	JM
Project Issue Date:	04-28-2022
Project Number:	22-080

designs, plans, images, text, and other content found on this page are protected by U.S. and international copyright law and may not be reproduced, duplicated, modified, or distributed, in whole or in part, without the express written consent of SK Architecture Group, LLC

All drawings purchased from SK Architecture Group, LLC are protected by U.S. and international copyright law. It is illegal to replicate, reproduce, resell, modify, distribute, lease, or loan, in whole or in part, from the plans without the expressed written consent of SK Architecture Group, LLC

[illegible]

# A101

## FLOOR PLAN



Drawn by:	SK ARCH
Checked by:	JM
Project Issue Date:	04-28-2022
Project Number:	22-080

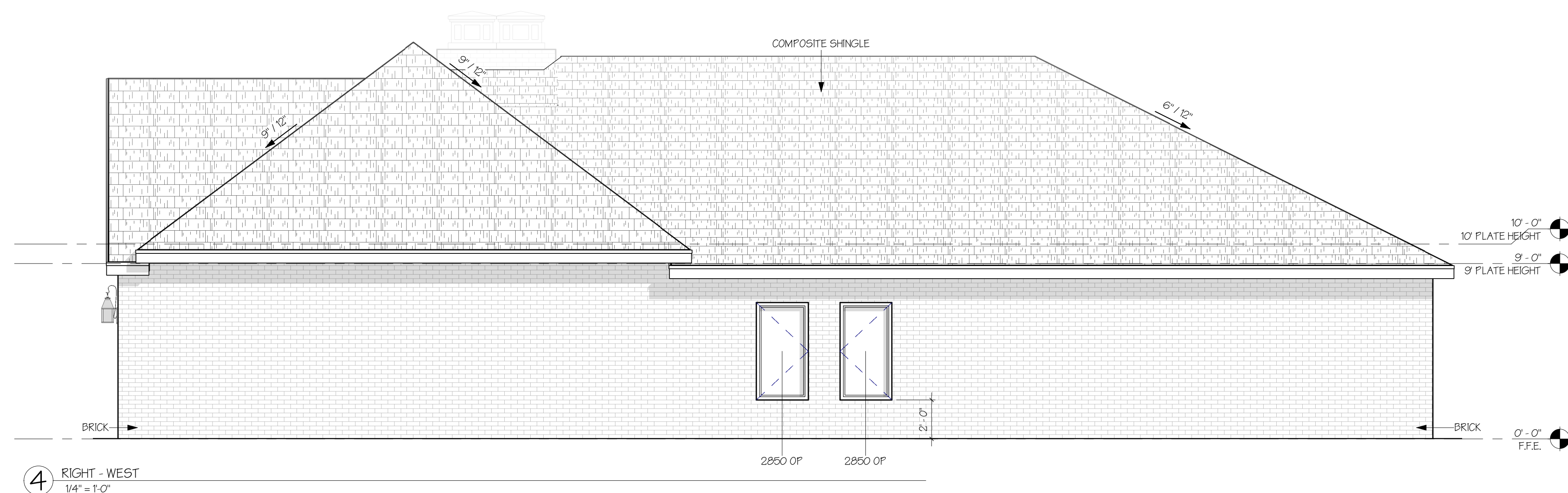
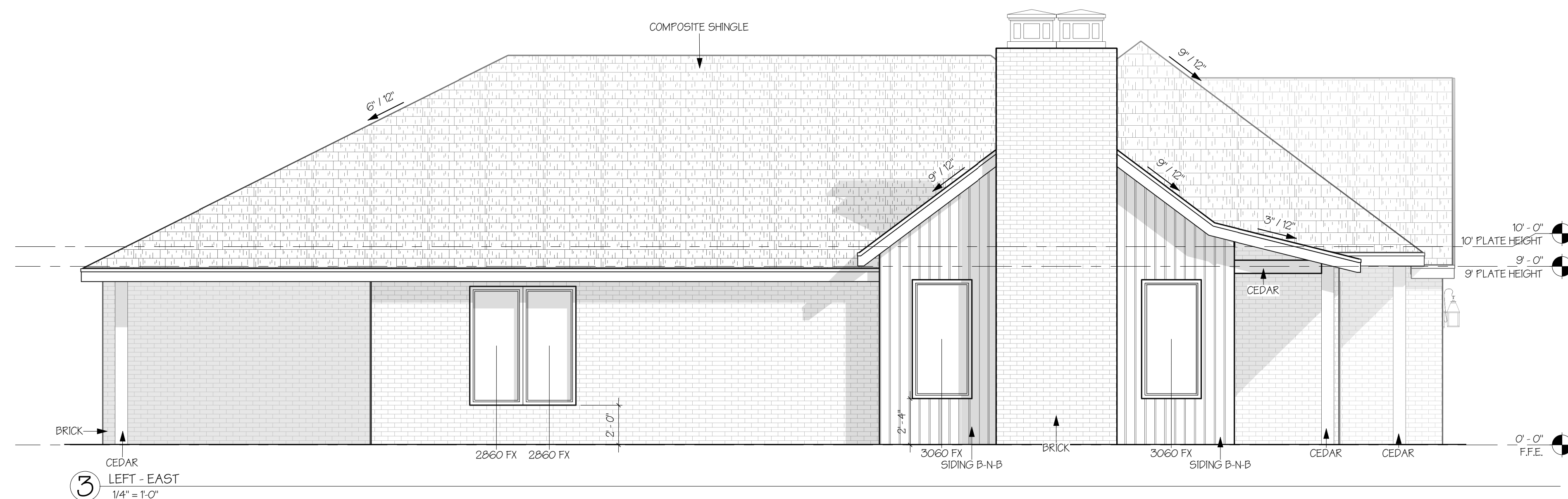
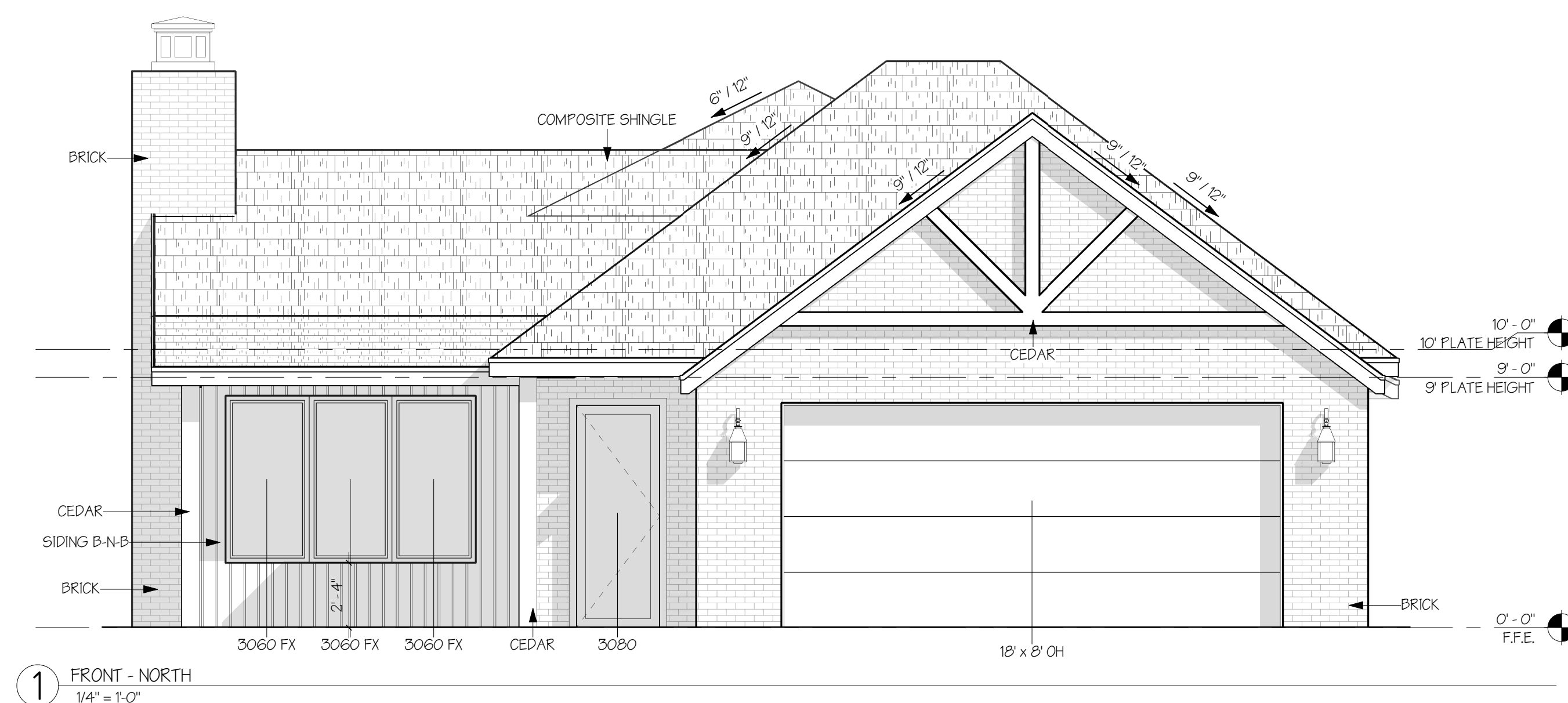
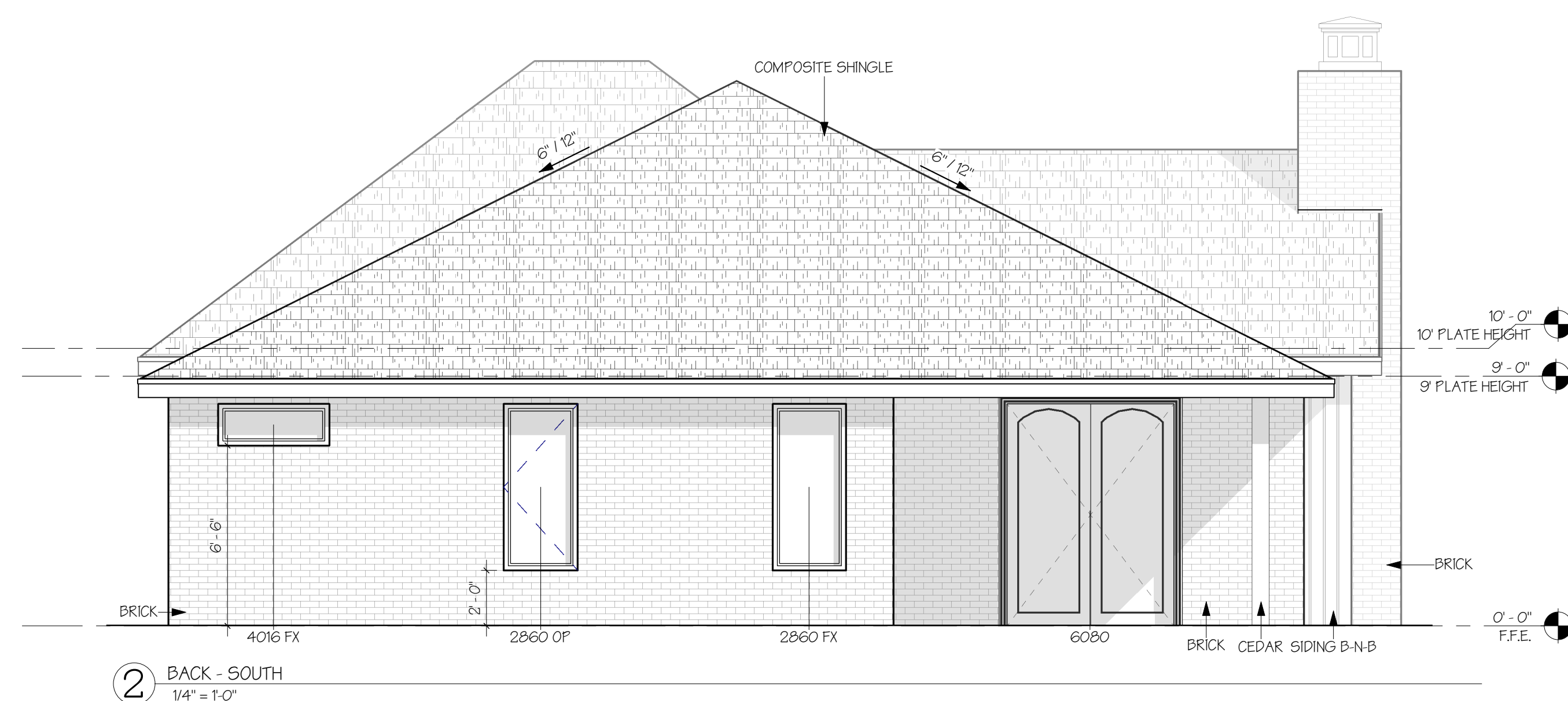
1905 COTTONWOOD AVE  
NESLONEY HOMES  
THE OVERLOOK & LOT 67

All designs, plans, images, text, and other content found on this page are protected by U.S. and international copyright law and may not be reproduced, duplicated, modified, or distributed, in whole or in part, without the express written consent of SK Architecture Group, LLC.

All drawings purchased from SK Architecture Group, LLC are protected by U.S. and international copyright law. It is illegal to duplicate, reproduce, resell, modify, redistribute, lease, or loan, in whole or in part, from the plans without the expressed written consent of SK Architecture Group, LLC.

#	Revision	Date

**SK**  
**ARCHITECTURE GROUP**  
COMMERCIAL | RESIDENTIAL | DEVELOPMENT





*Minimum Widths Adjacent to Openings*  
(Adapted from the IRC Table R602.10.5)

- 1) Measured from foundation to top of top plate
- 2) Rough opening height to bottom of header
- 3) Total width of full-height WSP sheathing panel adjacent to opening
- 4) Wall panel length reductions allowed by R602.10.5 are already taken into account by this table; however, the total length of braced wall panels in any braced wall line (see table 602.10.1) may be reduced by the following amounts for the opening heights shown:
  - a. 90% when no opening in the braced wall line exceeds 85% of the wall height
  - b. 80% when no opening in the braced wall line exceeds 67% of the wall height

\* A site-built garage portal frame, installed as per attached without embedded anchors. The version approved in the 2004 code cycle which uses embedded anchors, may be used to accommodate narrower wall widths (down to 16") than shown by the above.

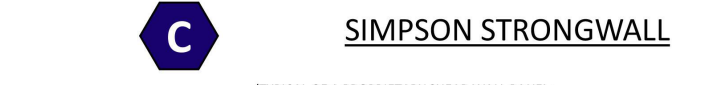
5 IRC WALL BRACING PROVISIONS  
1/2" = 1'-0"



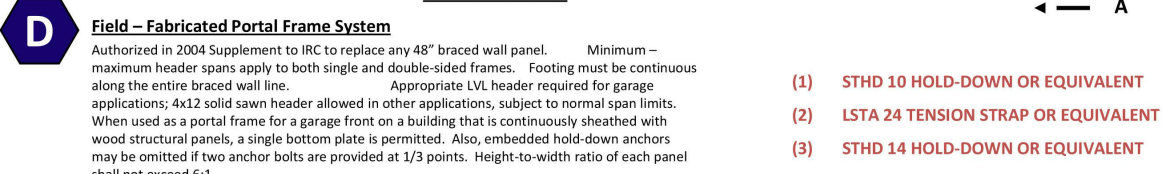
1 BRACED WALL PANEL - A  
1/4" = 1'-0"



2 BRACED WALL PANEL - B  
1/4" = 1'-0"



3 BRACED WALL PANEL - C  
1/4" = 1'-0"



4 BRACED WALL PANEL - D  
1/4" = 1'-0"



6 CORNER - SECTION  
3/4" = 1'-0"



7 FOOTING  
3/4" = 1'-0"

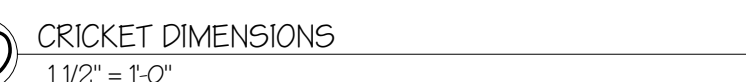


8 FOOTING - INTERIOR LOAD BEARING WALL  
3/4" = 1'-0"



9 SAFEROOM DETAIL - PLAN  
3/4" = 1'-0"

SECTION VIEW



10 CRICKET DIMENSIONS  
1 1/2" = 1'-0"

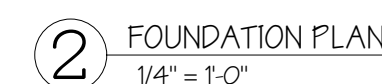


11 SAFEROOM DETAIL - FOOTING  
3/4" = 1'-0"



FOOTING - SPOT FOOTING AT GARAGE DOOR  
CORNER PLAN





ELECTRICAL NOTES:

1. ELECTRICAL COMPONENTS & EQUIPMENT SHALL MEET OR EXCEED ALL N.E.C. AND LOCAL CODES
2. INSTALLATIONS SHALL COMPLY WITH ALL ENTITIES HAVING JURISDICTION
3. CONTRACTOR SHALL OBTAIN OWNER APPROVAL FOR ALL FIXTURE SELECTIONS AND LOCATIONS.
4. VERIFY AFFLIANCE AND EQUIPMENT ELECTRICAL REQUIREMENTS.
5. VERIFY SECURITY SYSTEM & INTERCOM REQUIREMENTS
6. VERIFY CABLE/DATA/TELEVISION JACK LOCATIONS PRIOR TO INSTALLATION.
7. VERIFY ALL FLOOR OUTLETS AS PER OWNER.
8. VERIFY ALL LIGHTING IN KITCHEN, BREAKFAST, & LIVING ROOM.
9. VERIFY ALL STEREO, INTERCOM, & COMPUTER WIRKING AS PER OWNER.
10. VERIFY ALL OUTLETS ON EXTERIOR OF HOUSE.
11. ALL EXTERIOR ELECTRICAL OUTLETS/FIXTURES TO BE WEATHER PROOF.
12. VERIFY ALL OUTLETS IN SPOFFS.
13. VERIFY ALL EXTERIOR TREE LIGHTING & LANDSCAPE LIGHTING.
14. PROVIDED LIGHTING THROUGH ATTIC.
15. VERIFY ELECTRICAL FOR ATTIC FANS.
16. FIELD VERIFY LOCATION OF POWER TO BE BROUGHT TO HOUSE.
17. VERIFY ELECTRICAL AND LIGHTING LAYOUT AND NO. OF REFERENCE ONLY. FINAL LAYOUT TO BE VERIFIED BY CONTRACTOR PRIOR TO PERFORMING WORK.

FOOTING NOTES:

FOLLOWING ARE ADDITIONAL COMMENT TO BUILDERS AS A REMINDER TO CONSIDER WHEN SELECTING FOUNDATION DETAILS:

1. ON LOTS THAT REQUIRE MORE THAN TWO FEET OF FILL AT ANY POINT, CHECK WITH THE INSPECTION DEPARTMENT FOR DIRECTION AS TO NEEDS FOR ENGINEERED FOUNDATION DETAILS.
2. REQUIREMENT OF SAND FILL
3. REQUIREMENT OF VAPOR RETARDER
4. REQUIREMENT OF PROPER FILL MATERIAL AND COMPACTION OF ALL TRENCHES IN FOUNDATION
5. CONSIDER WHERE CONCENTRATED LOAD POINTS WILL OCCUR AND CONSIDER ADDITIONAL CONCRETE SUPPORT AT THOSE LOCATIONS
6. ADJUST FOOTINGS AT ZERO LOT LINES NOT TO ENCROUGH ON ADJACENT LOT.
7. CONSIDER FOOTINGS AND FOUNDATION DETAILS AT BASEMENT LOCATIONS AND IT'S IMPACT ON MAIN FLOOR FOUNDATION ABOVE.
8. NOTE REQUIREMENTS 9. FOR TERMITE TREATMENT
9. BUILDER SHOULD BE KNOWLEDGEABLE ABOUT EXISTING NATURAL SOILS, INFORMATION FROM DEPTER OR PERFORM TEST TO DETERMINE SOILS INFORMATION PRIOR TO CONSTRUCTION ON LOT.

