FLOOR PLAN NOTES:

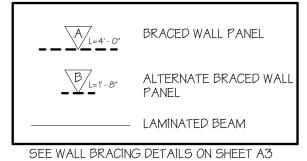
- 1. THE CONTRACTOR AND SUBCONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT ALL QUESTIONABLE
- CONDITIONS TO THE DESIGNER BEFORE STARTING THE WORK. 2. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL
- INFORMATION.
- COORDINATE ALL PORTIONS OF THE WORK.
 DIMENSIONS SHOWN ON FLOOR PLAN ARE STUD DIMENSIONS FROM FACE OF STUD TO FACE
- OF STUDE UNLESS OTHERWISE NOTED.
- 5. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW FOR EMERGENCY EGRESS. ALL EGRESS WINDOWS TO MEET LOCAL CODES AND REGULATIONS. 6. PROVIDE SAFETY GLASS IN ALL THE FOLLOWING LOCATIONS: ANY BATHROOM WINDOWS WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60" ABOVE THE F.F.E., ALL STAIR CASES, ALL
- WINDOWS WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 12" ABOVE THE F.F.E., AND ALL EXTERIOR DOORS WITH GLAZING.
- 7. WINDOWS TO BE SCREWED AND INSTALLED TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL BOTTOM PLATES, INTERIOR AND EXTERIOR, TO BE TREATED LUMBER.
 WALLS LESS THAN 5' TO PROPERTY LINE ARE REQUIRED TO HAVE A ONE HOUR FIRE RATING.
- 10. BATHROOM EXHAUST FANS SHOULD BE TERMINATED AT LEAST 10" ABOVE INSULATION OR
- VENTED THROUGH ROOF IF SPRAY FOAM IS USED. 11. SHOWER WALLS MUST USE CEMENT BACKER BOARD WHEN TILE IS INSTALLED.

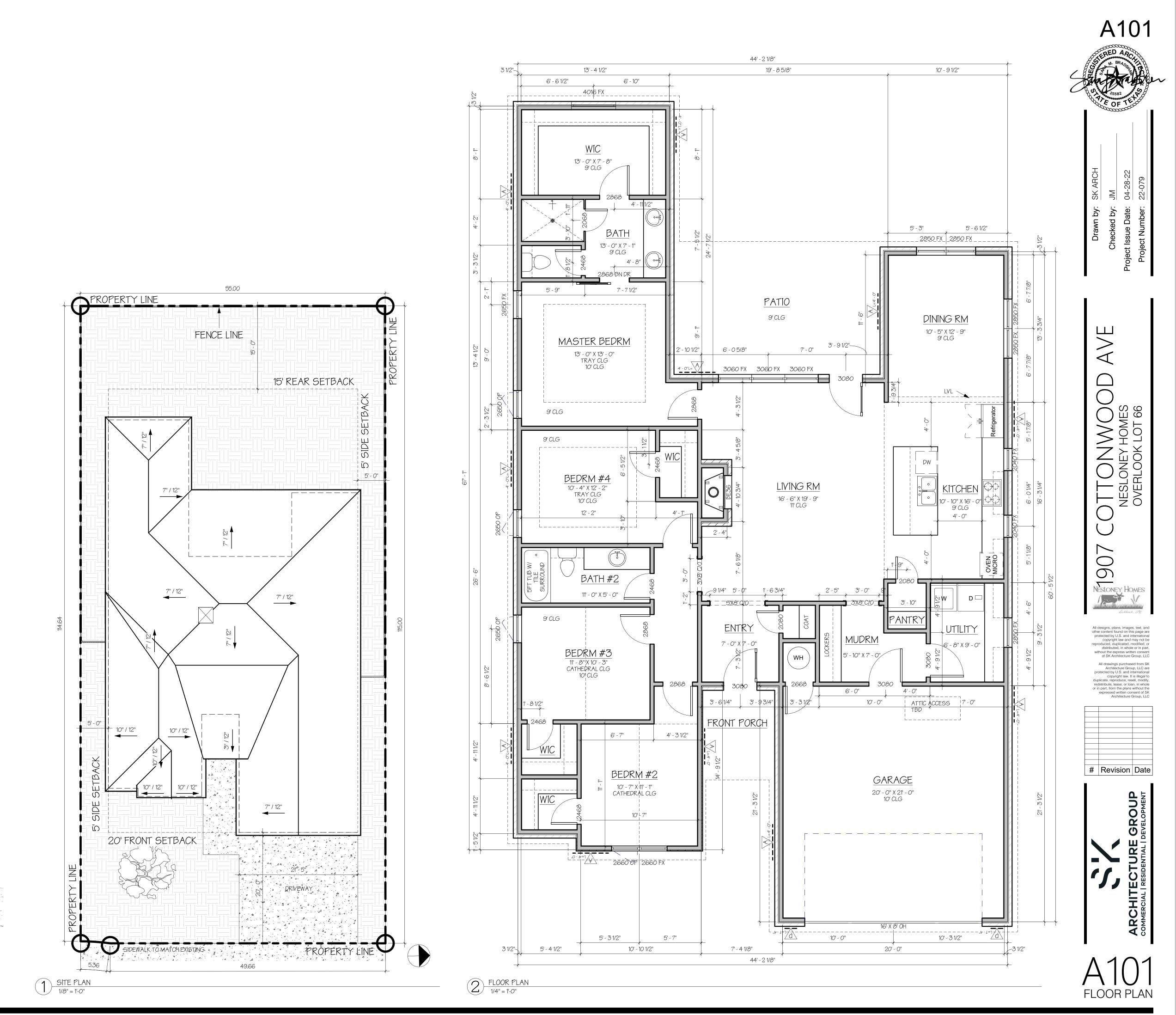
AREA CALCULATIONS

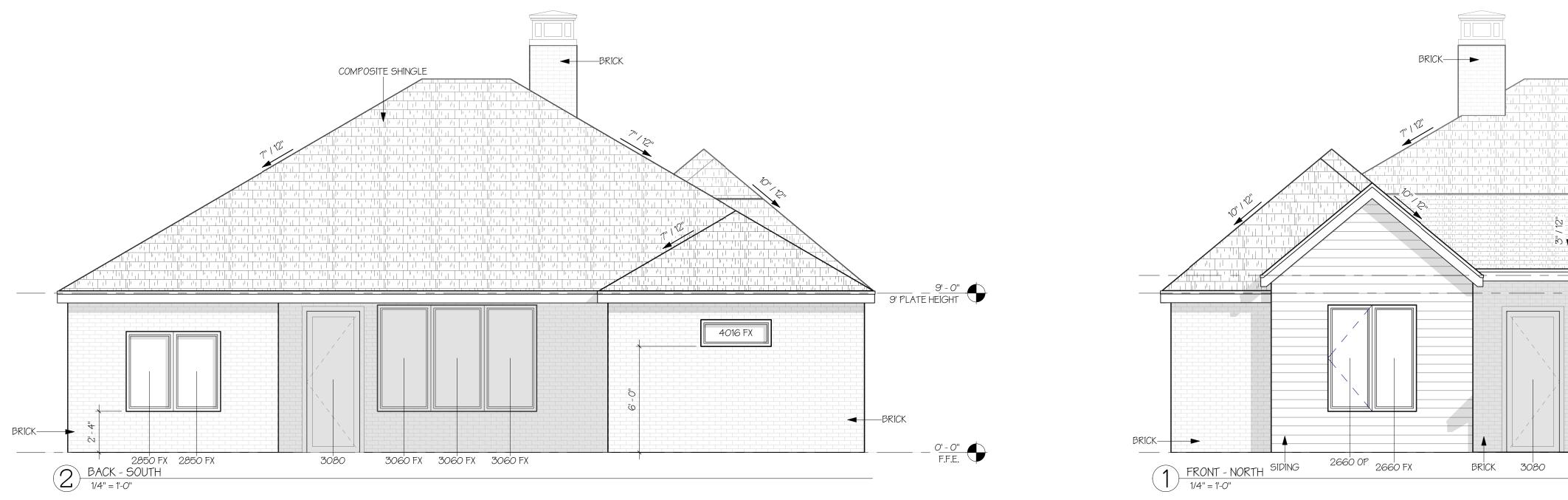
HEATED & COOLED OB:	1993 SF
HEATED & COOLED OF:	1907 SF
FIRST FLOOR LIVING:	1907 SF
GARAGE:	454 SF
FRONT PORCH:	60 SF
BACK PORCH:	241 SF

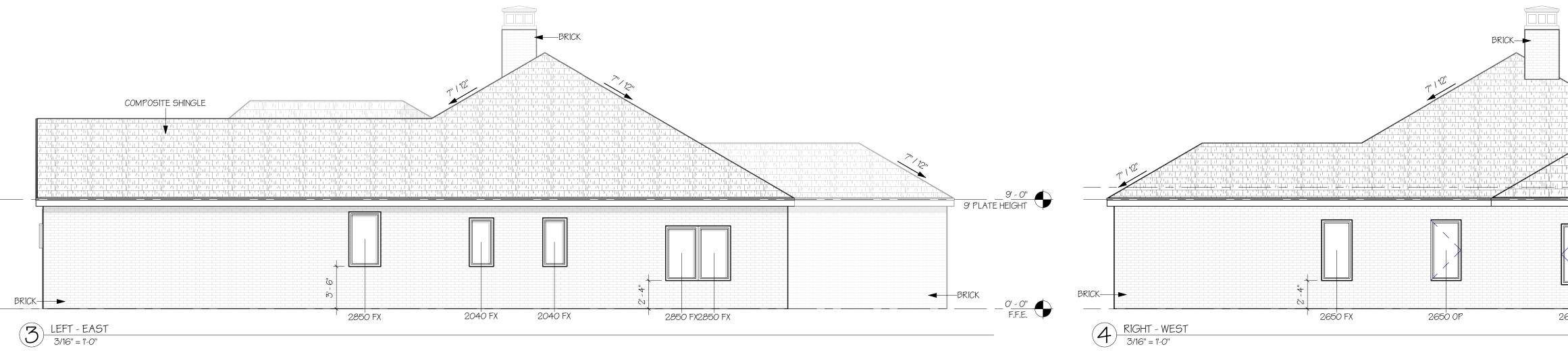
TOTAL OF: 2662 SF

WALL PANEL BRACING

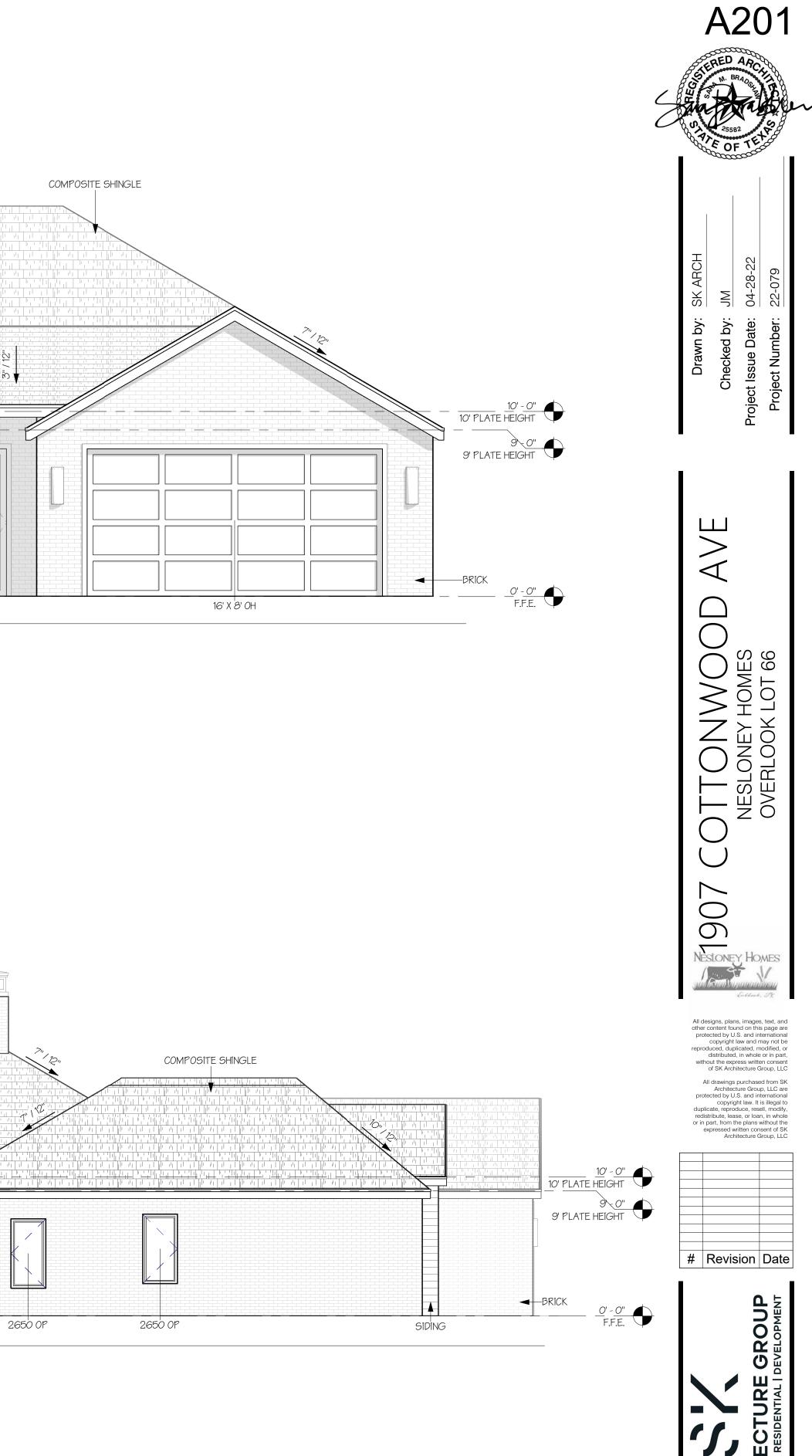








SK ARCHITECTURE GROUP, LLC | PO BOX 64756 LUBBOCK, TX 79464| PH 806.445.1255| Email sara@skarchgroup.com





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IRC WALL BRACING PROVISIONS

Continuous Wood Structural Panel Sheathing Method

Minimum Widths Adjacent to Openings (Adapted from the IRC Table R602.10.5)

	Q! Mall Haight (1)	λ	
18			

	<u>8' Wall Height (1)</u>			
Adjacent Opening Height (2)	Braced Wall Panel Length (min.) (3)			
3' (38% of wall ht.)	24"			
4' (50% of wall ht.)	24"			
5' (62.5% of wall ht.)	24"			
6' (75% of wall ht.)	32"			
6'8" (83% of wall ht.)	32"			
7' (88% of wall ht.)	48"			
Garage Door Return	24" (4:1 aspect ratio), or			
Garage Door Return	16" (6:1 aspect ratio) Portal Frame*			
<u>9' Wall Height (1)</u>				
Adjacent Opening Height (2)	Braced Wall Panel Length (min.) (3)			
3' (33% of wall ht.)	27"			
4' (44% of wall ht.)	27"			
5' (56% of wall ht.)	27"			
6' (67% of wall ht.)	36"			
6'8" (74% of wall ht.)	36"			
7' (78% of wall ht.)	36"			
8' (89% of wall ht.)	54"			
Garage Door Return	27" (4:1 aspect ratio), or			
Garage Door Return	18" (6:1 aspect ratio) Portal Frame*			
	<u>10' Wall Height (1)</u>			
Adjacent Opening Height (2)	Braced Wall Panel Length (min.) (3)			
3' (30% of wall ht.)	30"			
4' (40% of wall ht.)	30"			
5' (50% of wall ht.)	30"			
6' (60% of wall ht.)	30"			
6'8" (67% of wall ht.)	40"			
7' (70% of wall ht.)	40"			
8' (80% of wall ht.)	40"			
9' (90% of wall ht.)	60"			
Garage Door Return	30" (4:1 aspect ratio), or			
Garage Door Return	20" (6:1 aspect ratio) Portal Frame*			

1) Measured from foundation to top of top plate

2) Rough opening height to bottom of header 3) Total width of full-height WSP sheathing panel adjacent to opening

4) Wall panel length reductions allowed by R602.10.5 are already taken into account by this table; however, the total length of braced wall panels in any braced wall ine (see table 602.10.1) may be

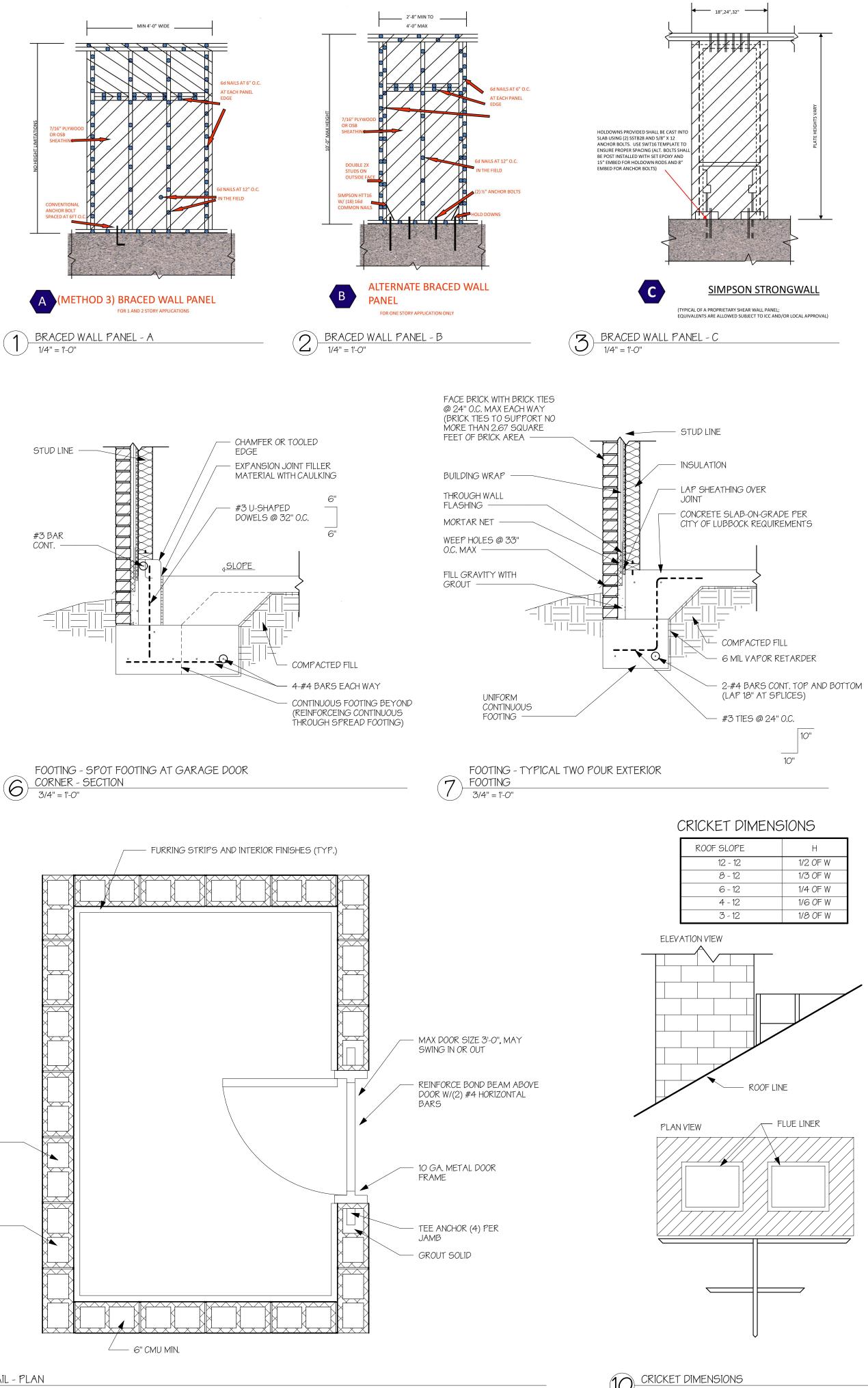
reduced by the following amounts for the opening heights shown: a. 90% when no opening in the braced wall line exceeds 85% of the wall height

b. 80% when no opening in the braced wall line exceeds 67% of the wall height * A site-built garage portal frame, installed as per attached without embedded anchors. The version approved in the 2004 code cycle which uses embedded anchors, may be used to accommodate narrower wall widths (down to 16") than shown by the above.

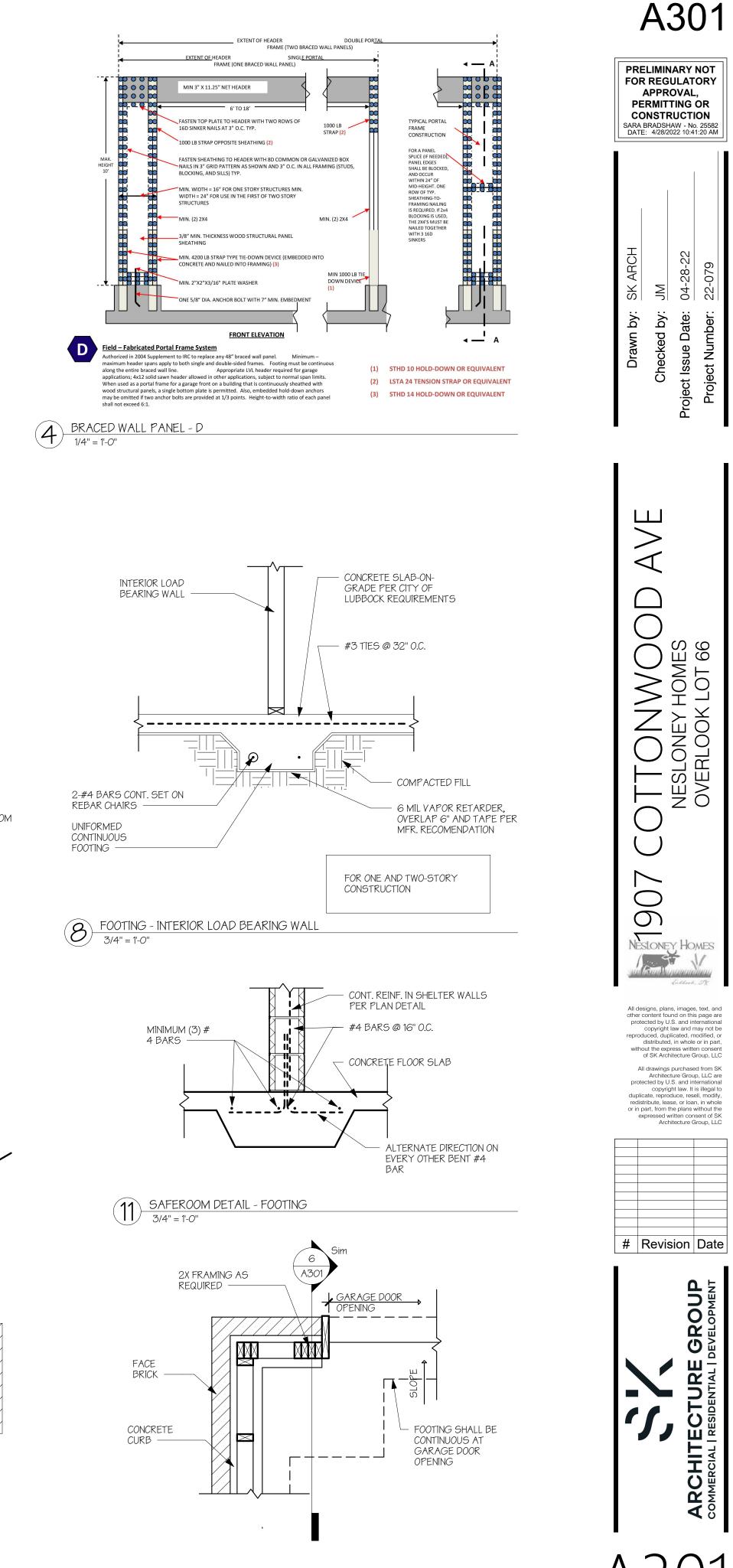
5 IRC WALL BRACING PROVISIONS 1/2" = 1'-0"

> GROUT ALL CELLS SOLID —

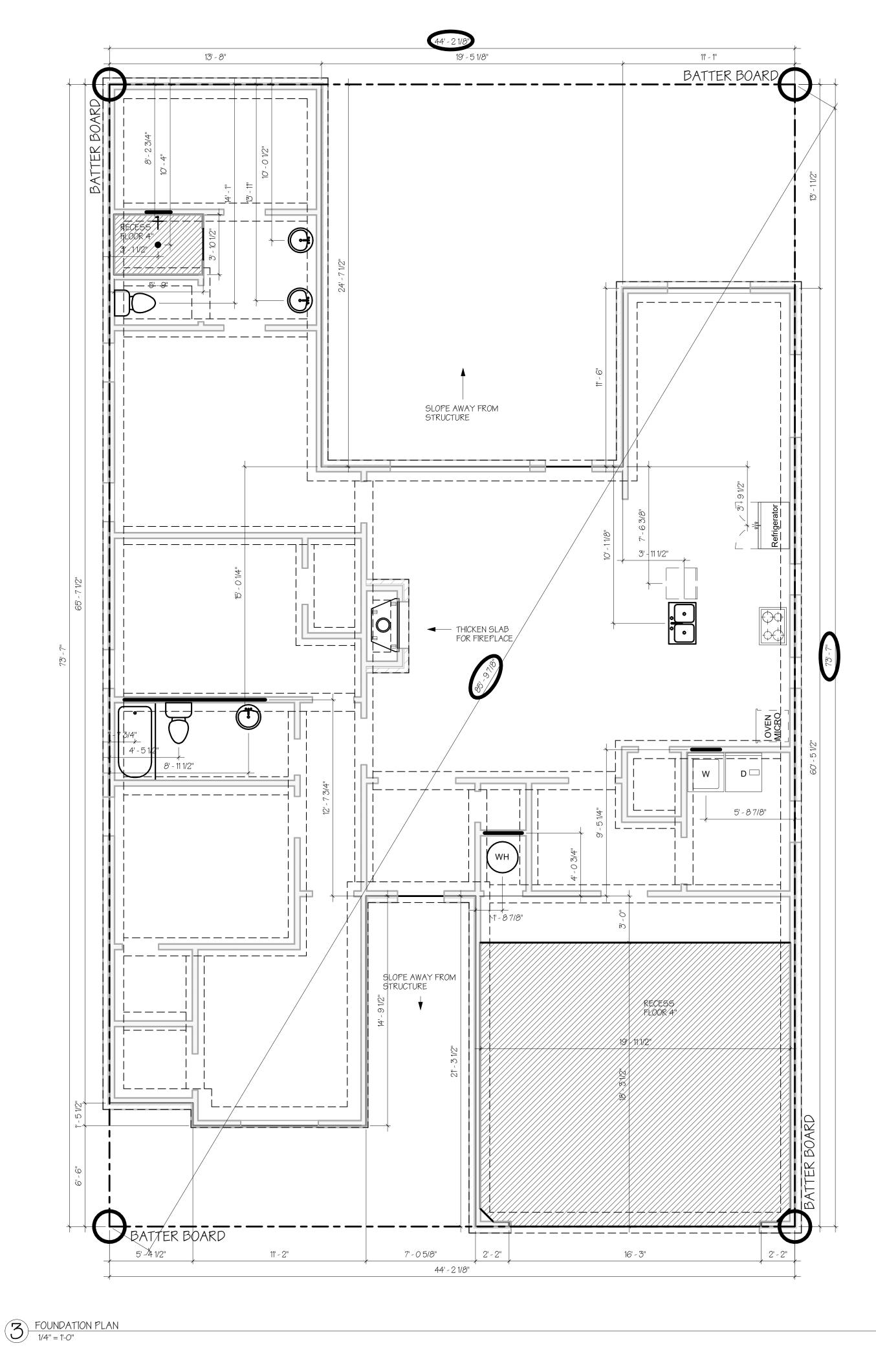
#4 VERTICAL BAR IN EACH CELL -



CRICKET DIMENSIONS



FOOTING - SPOT FOOTING AT GARAGE DOOR (12) CORNER - F 3/4" = 1'-0" CORNER - PLAN

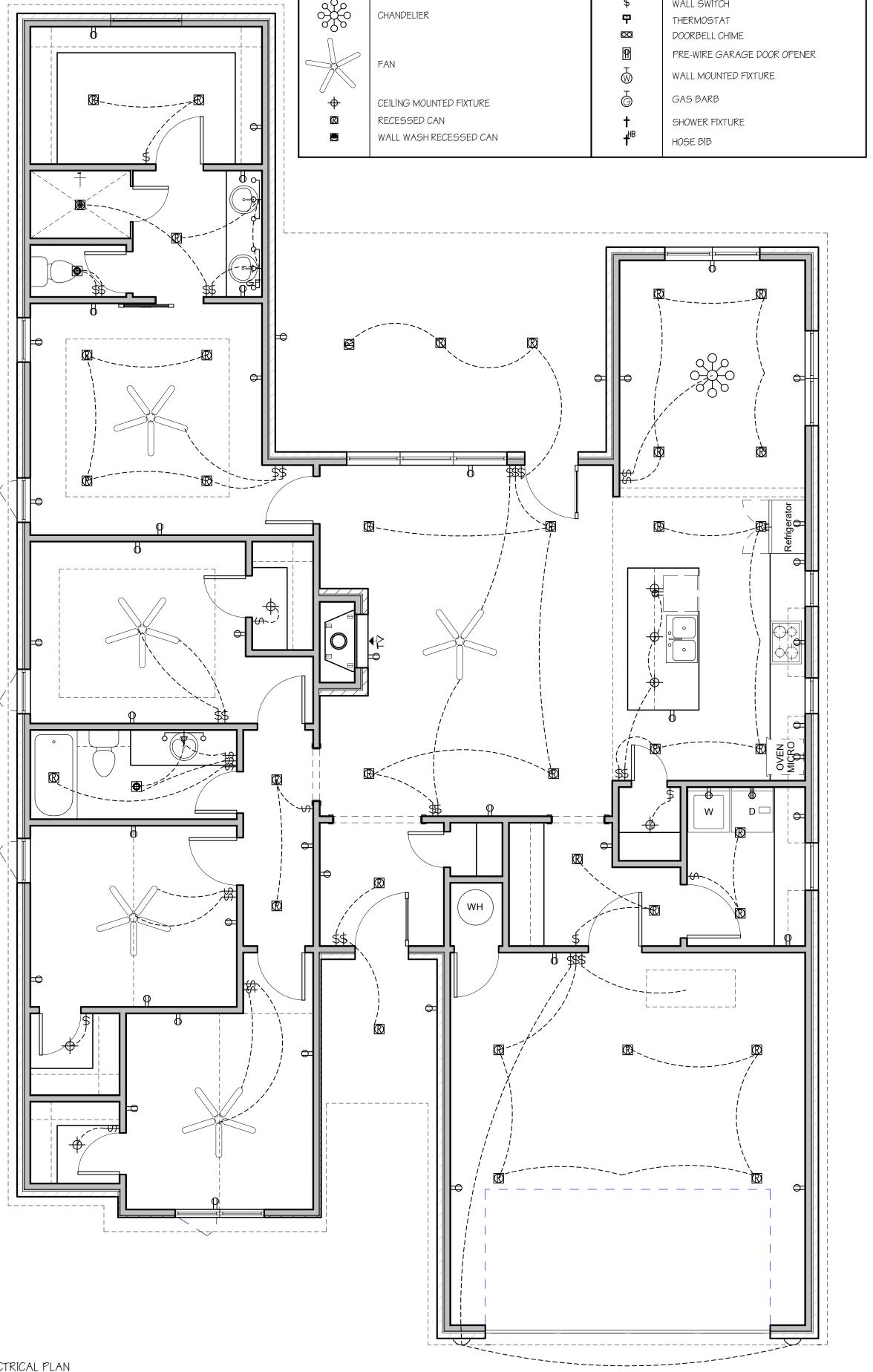


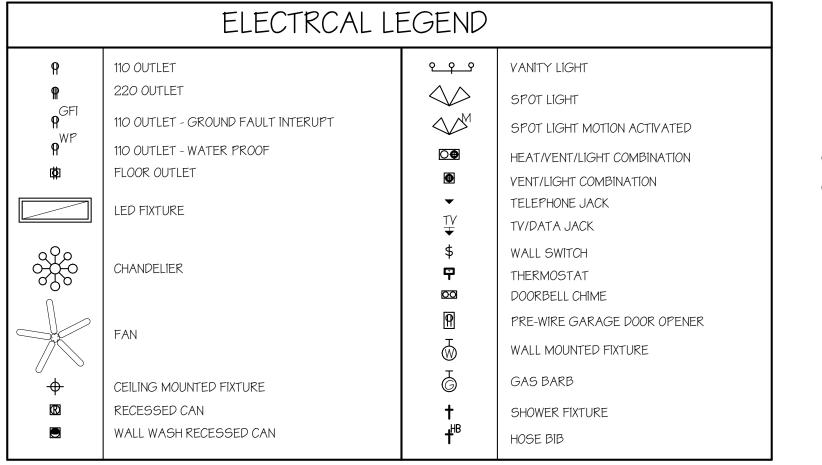
FOOTING NOTES:

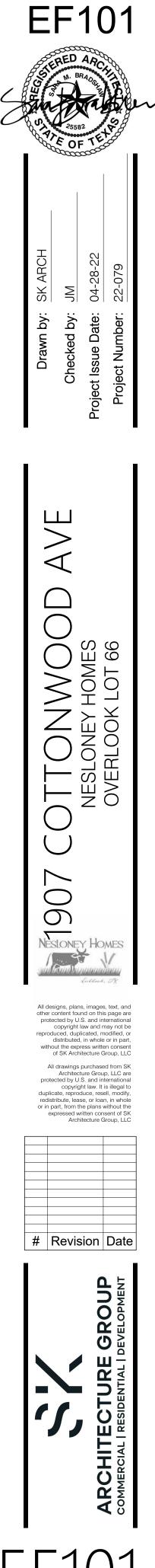
- FOLLOWING ARE ADDITIONAL COMMENT TO BUILDERS AS A REMINDER TO CONSIDER WHEN SELECTING FOUNDATION DETAILS:
- 1. ON LOTS THAT REQUIRE MORE THAN TWO FEET OF FILL AT ANY POINT, CHECK WITH THE INSPECTION DEPARTMENT FOR DIRECTION AS TO NEEDS FOR ENGINEERED FOUNDATION DETAILS.
- REQUIREMENT OF SAND FILL
 REQUIREMENT OF VAPOR RETARDER
- REQUIREMENT OF PROPER FILL MATERIAL AND COMPACTION OF ALL TRENCHES IN FOUNDATION.
 CONSIDER WHERE CONCENTRATED LOAD POINTS WILL OCCUR
- AND CONSIDER ADDITIONAL CONCRETE SUPPORT AT THOSE LOCATIONS.6. ADJUST FOOTINGS AT ZERO LOT LINES NOT TO ENCROACH ON
- ADJACENT LOT. 7. CONSIDER FOOTINGS AND FOUNDATION DETAILS AT BASEMENT LOCATIONS AND IT'S IMPACT ON MAIN FLOOR
- FOUNDATION ABOVE.
 8. NOTE REQUIREMENTS FOR TERMITE TREATMENT
 9. BUILDER SHOULD BE KNOWLEDGEABLE ABOUT EXISTING NATURAL SOILS, INFORMATION FROM DEVELOPER OR PERFORM TEST TO DETERMINE SOILS INFORMATION PRIOR TO CONSTRUCTION ON LOT.

ELECTRICAL NOTES:

- 1. ELECTRICAL COMPONENTS & EQUIPMENT SHALL MEET OR EXCEED ALL N.E.C. AND LOCAL CODES.
- 2. INSTALLATIONS SHALL COMPLY WITH ALL ENTITIES HAVING
- JURISDICTION. 3. CONTRACTOR SHALL OBTAIN OWNER APPROVAL FOR ALL FIXTURE
- SELECTIONS AND LOCATIONS. 4. VERIFY APPLIANCE AND EQUIPMENT ELECTRICAL REQUIREMENTS. 5. VERIFY SECURITY SYSTEM & INTERCOM W/BUILDER.
- 6. VERIFY CABLE/DATA/TELEVISION JACK LOCATIONS PRIOR TO INSTALLATION.
- VERIFY ALL FLOOR OUTLETS AS PER OWNER.
 VERIFY ALL LIGHTING IN KITCHEN, BREAKFAST, & LIVING ROOM.
- 9. VERIFY ALL STEREO, INTERCOM, & COMPUTER WIRERING AS PER OWNER.
- VERIFY ALL OUTLETS ON EXTERIOR OF HOUSE.
 ALL EXTERIOR ELECTRICAL OUTLETS/FIXTURES TO BE WEATHER
- PROOF. 12. VERIFY ALL OUTLETS IN SOFFITS. 13. VERIFY ALL EXTERIOR TREE LIGHING & LANDSCAPE LIGHTING.
- 14. PROVIDED LIGHTING THROUGHOUT ATTIC.
- VERIFY ELECTRICAL FOR ATTIC FANS.
 FIELD VERIFY LOCATION OF POWER TO BE BROUGHT TO HOUSE.
 ELECTRICAL AND LIGHTING LAYOUT IS REFERENCE ONLY. FINAL LAYOUT TO BE VERIFIED BY CONTRACTOR PRIOR TO PERFORMING WORK.







ELECTRICAL / FOUNDATION PLAN