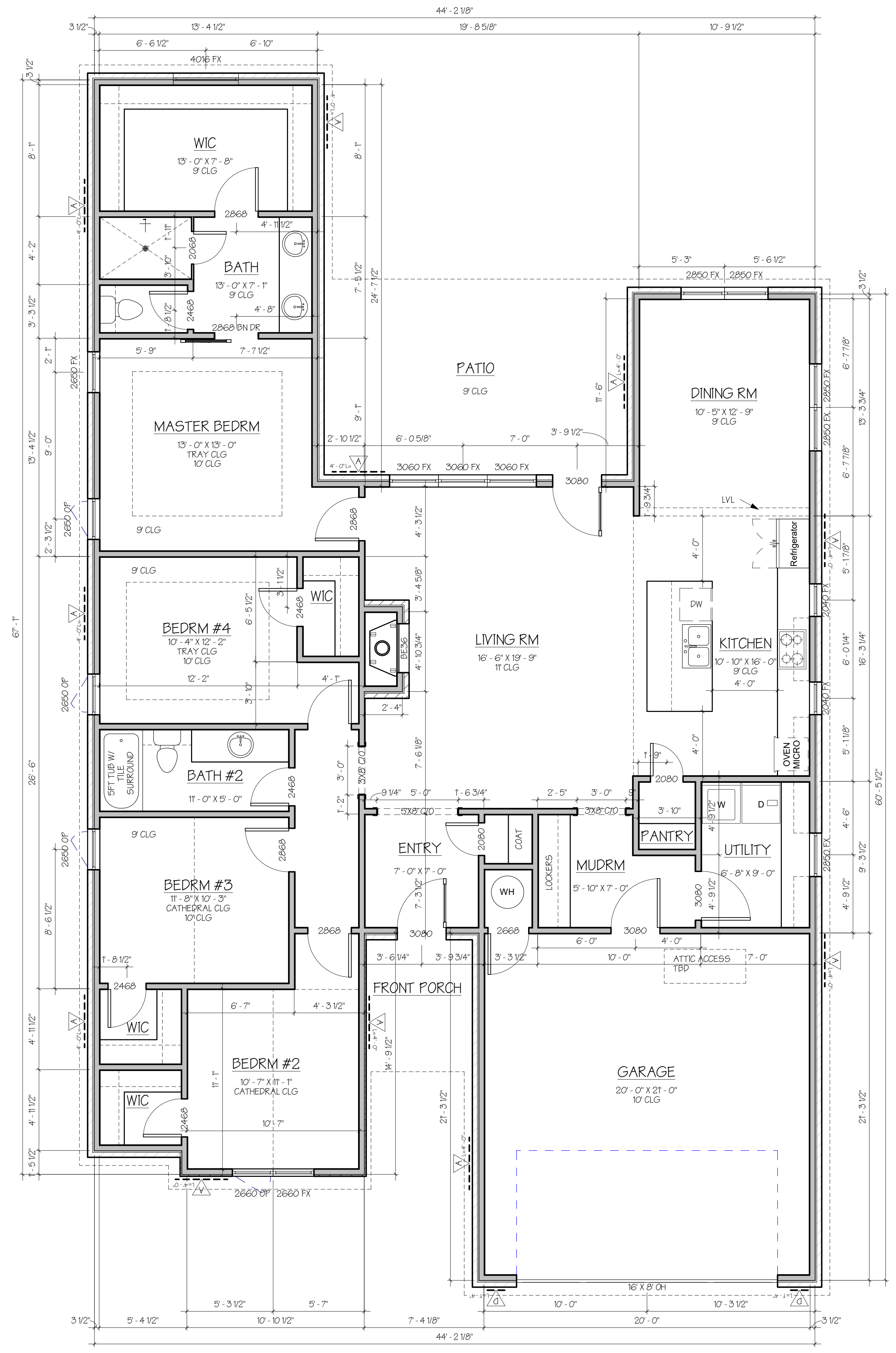
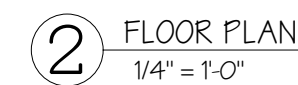
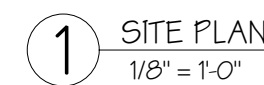
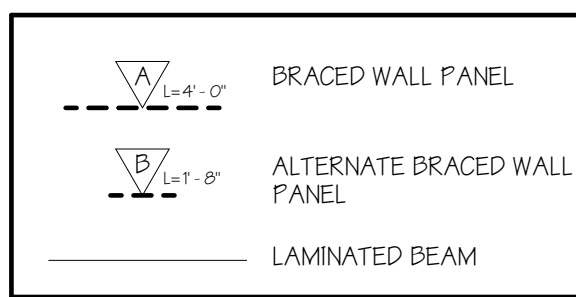


1. THE CONTRACTOR AND SUBCONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT ALL QUESTIONABLE CONDITIONS TO THE DESIGNER BEFORE STARTING THE WORK.
2. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
3. COORDINATE ALL PORTIONS OF THE WORK.
4. DIMENSIONS SHOWN ON FLOOR PLAN ARE STUD DIMENSIONS - FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.
5. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW FOR EMERGENCY EGRESS. ALL EGRESS WINDOWS TO MEET LOCAL CODES AND REGULATIONS.
6. PROVIDE SAFETY GLASS IN ALL THE FOLLOWING LOCATIONS: ANY BATHROOM WINDOWS WHERE THE HEIGHT OF THE GLAZING IS LESS THAN 60" ABOVE THE F.F.E., ALL STAIR CASES, ALL WINDOWS WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 12" ABOVE THE F.F.E., AND ALL EXTERIOR DOORS WITH GLAZING.
7. WINDOWS TO BE SCREENED AND INSTALLED TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
8. ALL BOTTOM PLATES, INTERIOR AND EXTERIOR, TO BE TREATED LUMBER.
9. WALLS LESS THAN 5' TO PROPERTY LINE ARE REQUIRED TO HAVE A ONE HOUR FIRE RATING.
10. ALL THROUGH EXHAUST FANS COULD BE MINIMUM AT LEAST 10" ABOVE INSULATION OR VENTED THROUGH ROOF IF SPRAY FOAM IS USED.
11. SHOWER WALLS MUST USE CEMENT BACKER BOARD WHEN TILE IS INSTALLED.

HEATED & COOLED OB:	1993 SF
HEATED & COOLED OF:	1907 SF
<hr/>	
FIRST FLOOR LIVING:	1907 SF
GARAGE:	454 SF
FRONT PORCH:	60 SF
BACK PORCH:	241 SF

## WALL PANEL BRACING



Drawn by:	SK ARCH
Checked by:	JM
Project Issue Date:	04-28-22
Project Number:	22-079

1907 COTTONWOOD AVE  
NESLONEY HOMES  
OVERLOOK LOT 66

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# A101

## FLOOR PLAN





Drawn by: SK ARCH  
Checked by: JM  
Project Issue Date: 04-28-22  
Project Number: 22-079

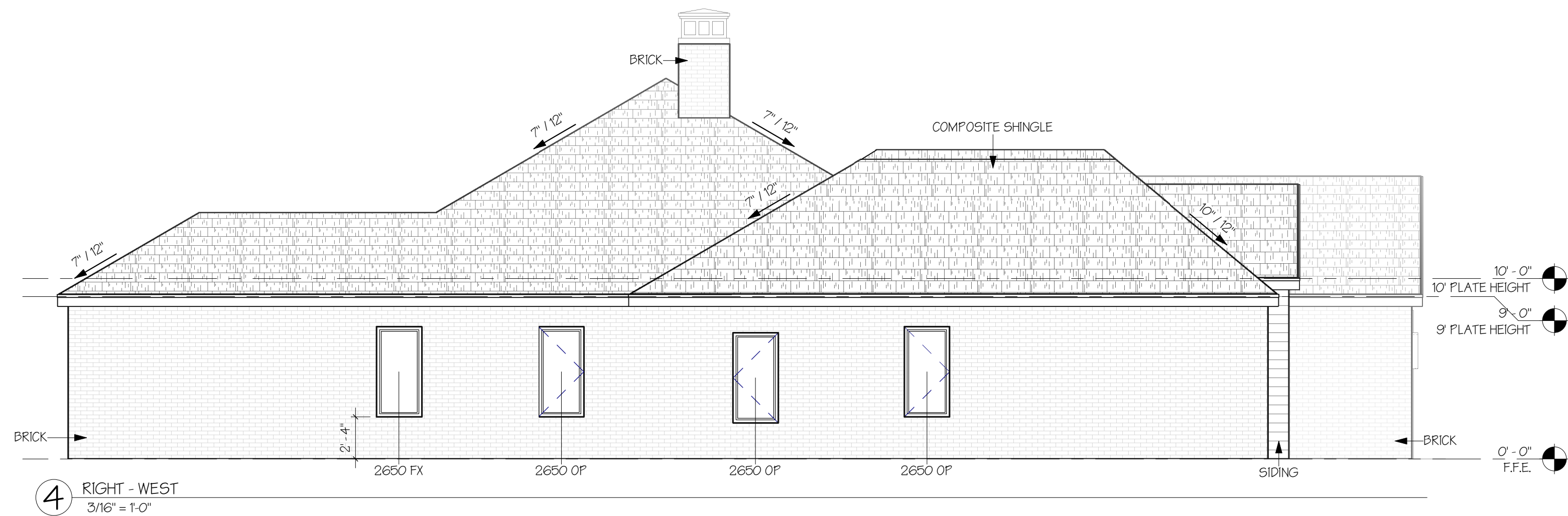
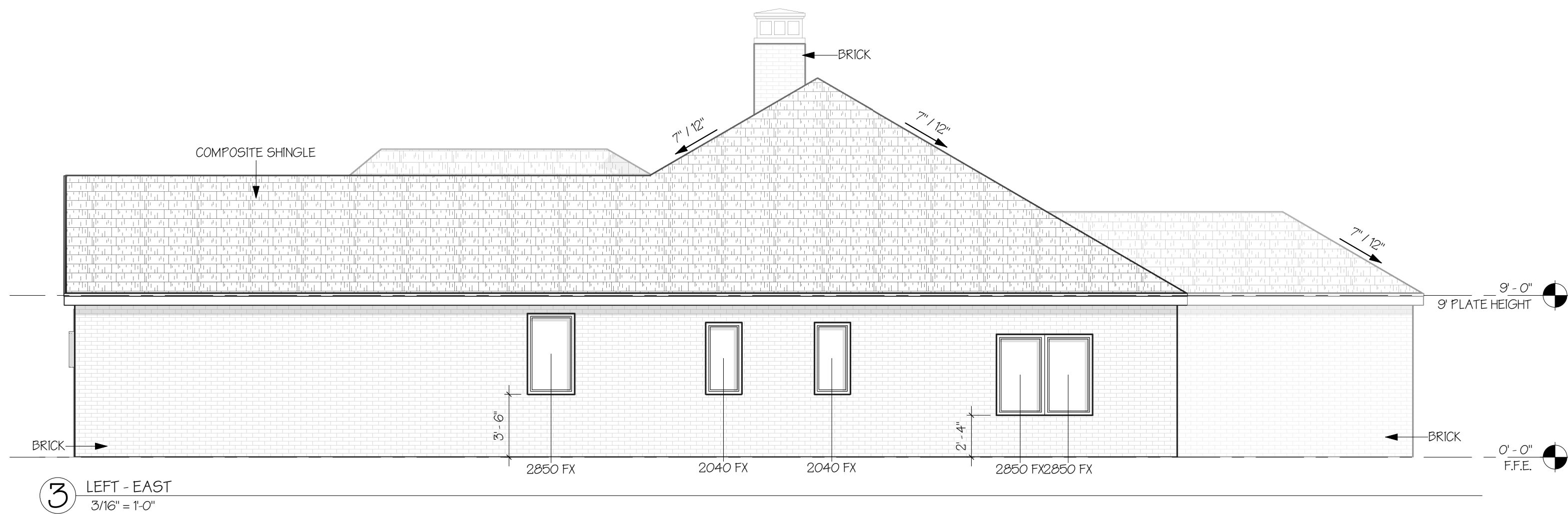
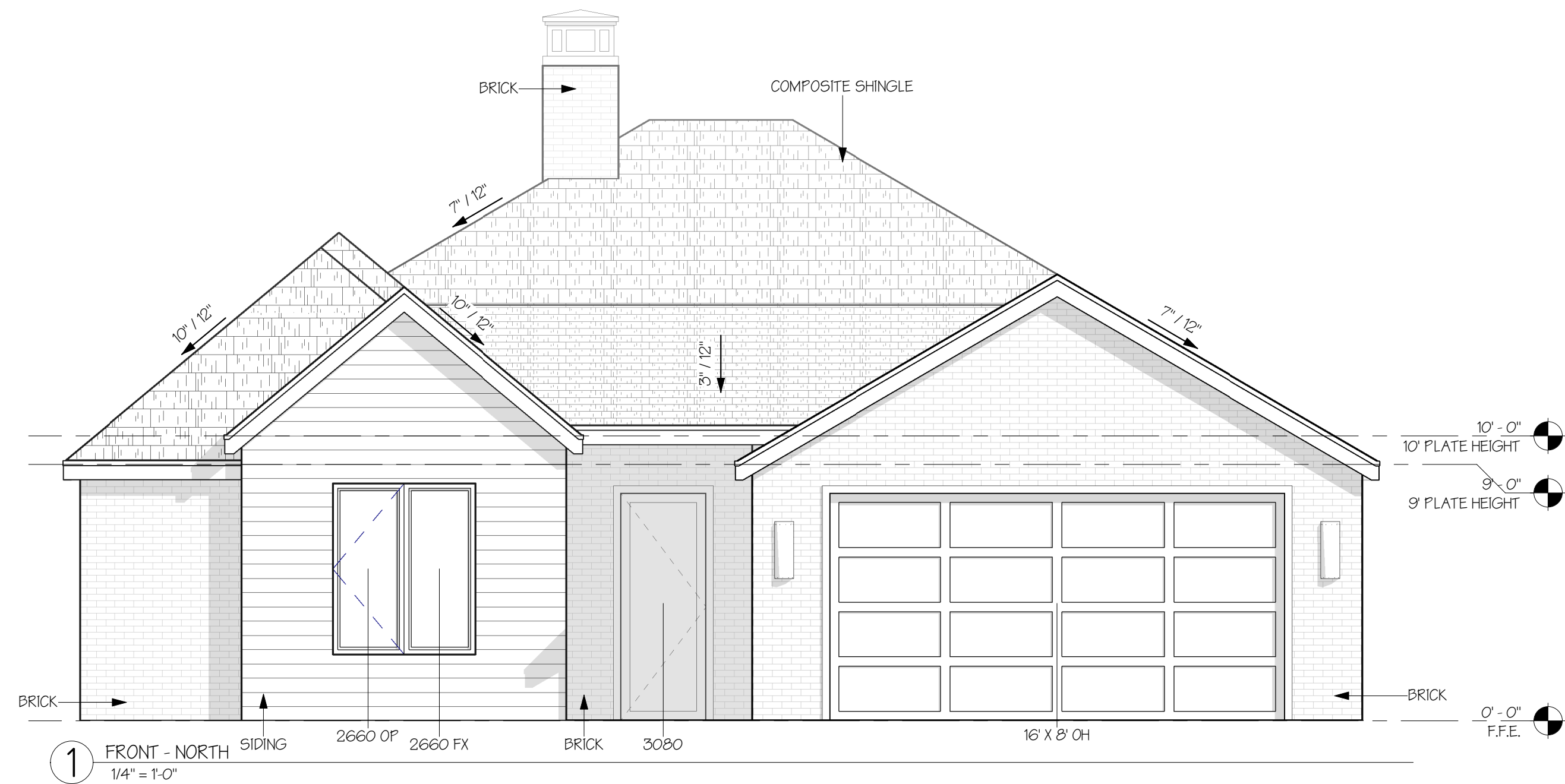
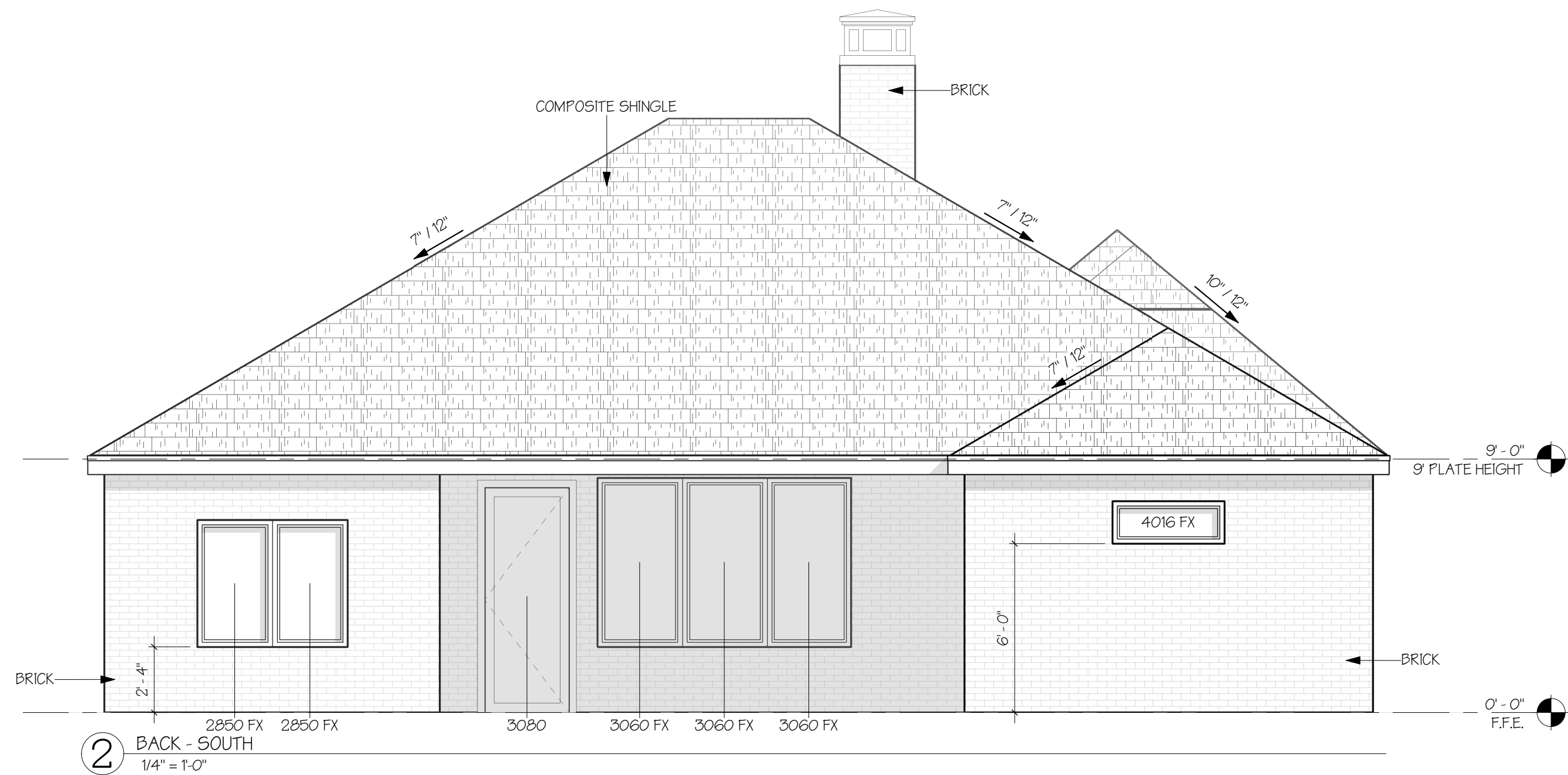
1907 COTTONWOOD AVE  
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OVERLOOK LOT 66

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#	Revision	Date

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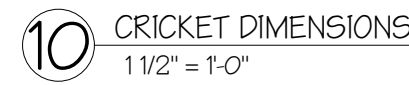
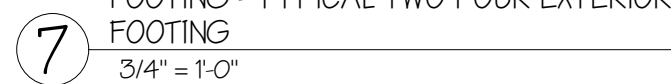
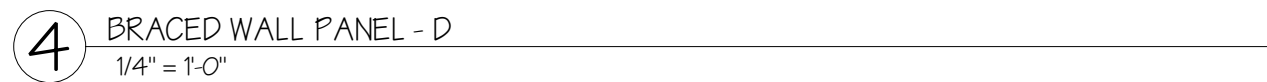




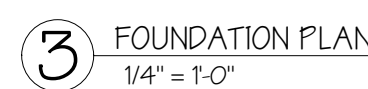
## Continuous Wood Structural Panel Sheathing Method

<b>8' Wall Height (1)</b>	
<b>Adjacent Opening Height (2)</b>	<b>Braced Wall Panel Length (min.) (3)</b>
3' (38% of wall ht.)	24"
4' (50% of wall ht.)	24"
5' (62.5% of wall ht.)	24"
6' (75% of wall ht.)	32"
6'8" (83% of wall ht.)	32"
7' (88% of wall ht.)	48"
Garage Door Return	24" (4:1 aspect ratio), or
Garage Door Return	16" (6:1 aspect ratio) Portal Frame*
<b>9' Wall Height (1)</b>	
<b>Adjacent Opening Height (2)</b>	<b>Braced Wall Panel Length (min.) (3)</b>
3' (33% of wall ht.)	27"
4' (44% of wall ht.)	27"
5' (56% of wall ht.)	27"
6' (67% of wall ht.)	36"
6'8" (74% of wall ht.)	36"
7' (78% of wall ht.)	36"
8' (89% of wall ht.)	54"
Garage Door Return	27" (4:1 aspect ratio), or
Garage Door Return	18" (6:1 aspect ratio) Portal Frame*
<b>10' Wall Height (1)</b>	
<b>Adjacent Opening Height (2)</b>	<b>Braced Wall Panel Length (min.) (3)</b>
3' (30% of wall ht.)	30"
4' (40% of wall ht.)	30"
5' (50% of wall ht.)	30"
6' (60% of wall ht.)	30"
6'8" (67% of wall ht.)	40"
7' (70% of wall ht.)	40"
8' (80% of wall ht.)	40"
9' (90% of wall ht.)	60"
Garage Door Return	30" (4:1 aspect ratio), or
Garage Door Return	20" (6:1 aspect ratio) Portal Frame*

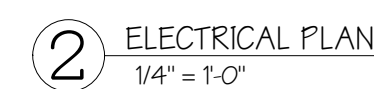
- \* A site-built garage portal frame, installed as per attached without embedded anchors. The version approved in the 2004 code cycle which uses embedded anchors, may be used to accommodate narrower wall widths (down to 16") than shown by the above.

$$1/2'' = 1'-0''$$






1. ELECTRICAL COMPONENTS & EQUIPMENT SHALL MEET OR EXCEED ALL N.E.C. AND LOCAL CODES.
2. INSTALLATIONS SHALL COMPLY WITH ALL ENTITIES HAVING JURISDICTION.
3. CONTRACTOR SHALL OBTAIN OWNER APPROVAL FOR ALL FIXTURE SELECTIONS AND LOCATIONS.
4. VERIFY APPLIANCE AND EQUIPMENT ELECTRICAL REQUIREMENTS.
5. VERIFY SECURITY SYSTEM & INTERCOM W/BUILDER.
6. VERIFY CABLE/DATA/TELEVISION JACK LOCATIONS PRIOR TO INSTALLATION.
7. VERIFY ALL FLOOR OUTLETS AS PER OWNER.
8. VERIFY ALL LIGHTING IN KITCHEN, BREAKFAST, & LIVING ROOM.
9. VERIFY ALL STEREO, INTERCOM, & COMPUTER WIRING AS PER OWNER.
10. VERIFY ALL OUTLETS ON EXTERIOR OF HOUSE.
11. ALL EXTERIOR ELECTRICAL OUTLETS/FIXTURES TO BE WEATHER PROOF.
12. VERIFY ALL OUTLETS IN SOFFITS.
13. VERIFY ALL EXTERIOR TREE LIGHTING & LANDSCAPE LIGHTING.
14. PROVIDED LIGHTING THROUGHOUT ATTIC.
15. VERIFY ELECTRICAL FOR ATTIC FANS.
16. FIELD VERIFY LOCATION OF POWER TO BE BROUGHT TO HOUSE.
17. ELECTRICAL AND LIGHTING LAYOUT IS REFERENCE ONLY. FINAL LAYOUT TO BE VERIFIED BY CONTRACTOR PRIOR TO PERFORMING WORK.

EF101

ELECTRICAL / FOUNDATION PLAN