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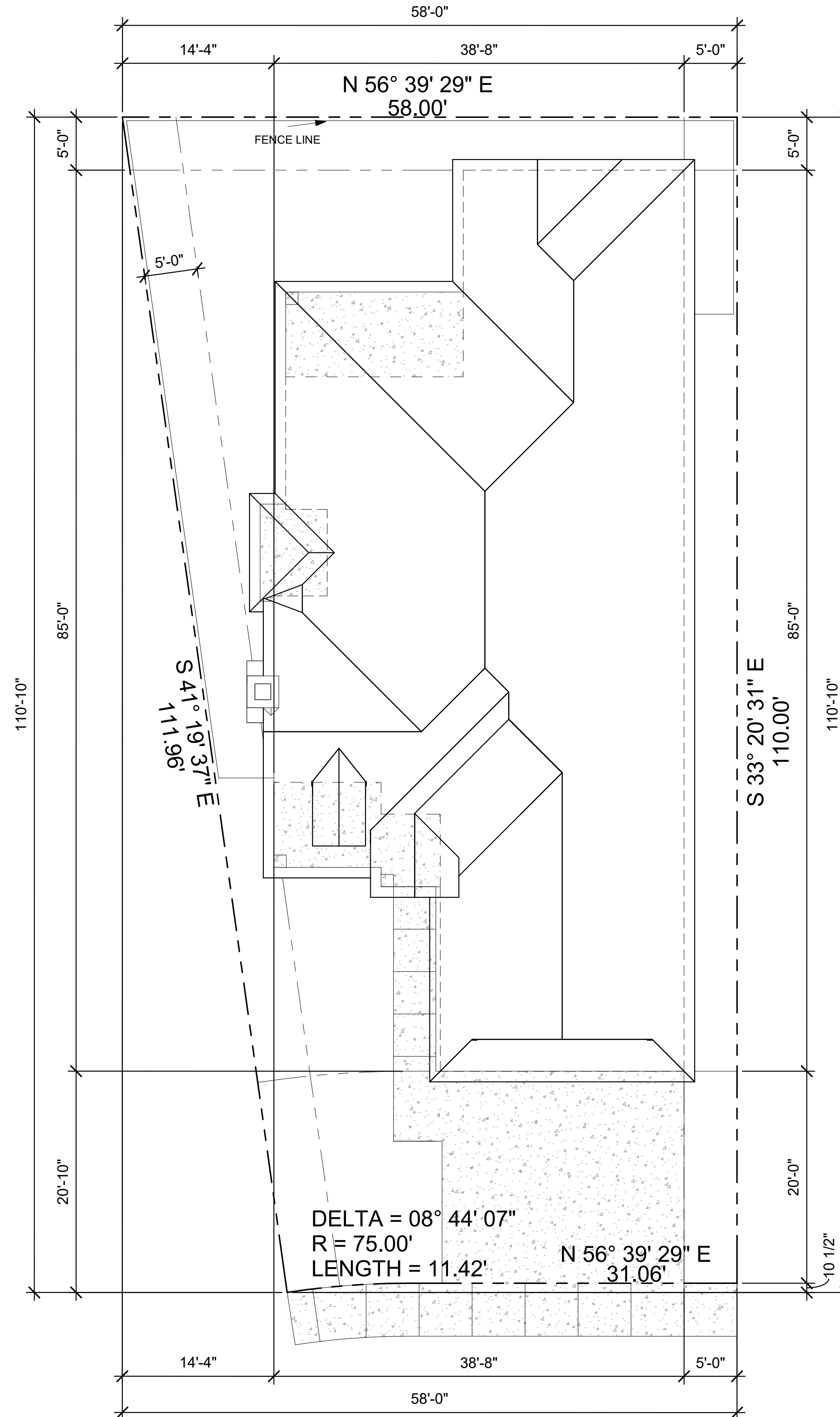
**GROSS FLOOR AREAS**

LIVING O.B.S.F.	1,957 SF
GARAGE O.B.S.F.	552 SF
FRONT PORCH	119 SF
MIDDLE PORCH	53 SF
BACK PORCH	126 SF
O.B.S.F. TOTAL	2,807 SF

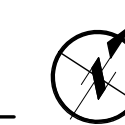
LIVING O.F.S.F.	1,879 SF
GARAGE O.F.S.F.	523 SF
FRONT PORCH	130 SF
MIDDLE PORCH	61 SF
BACK PORCH	136 SF
O.F.S.F. TOTAL	2,729 SF

**NOTES**

- ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION
- VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION
- SET TOP OF SLAB HEIGHT AS REQUIRED FOR PROPER SITE DRAINAGE.
- SLOPE ALL GRADES TOWARDS FRONT AND REAR PROPERTY LINES
- FENCING LOCATION TO BE VERIFIED WITH OWNER
- FINAL LOCATION OF RESIDENCE, DRIVES, SIDEWALKS, ETC. TO BE VERIFIED WITH OWNER
- VERIFY WITH OWNER / HVAC CONTRACTOR LOCATION OF A/C CONDENSING UNIT PADS.
- VERIFY ROOF SLOPES
- FIREPLACE SIZES TO BE VERIFIED, INCLUDING HEARTH EXTENSIONS VERIFIED BY CODE
- RIDGE VENTS TO BE INSTALLED AS REQUIRED FOR ATTIC. 1 PER 300 SQ FT.
- CONTRACTOR IS TO FOLLOW LOCAL AND STATE CODES
- ALL GLAZING WITHIN 2'-0" OF EXTERIOR DOOR SHALL BE TEMPERED GLASS
- ALL HVAC, PLUMBING AND ELECTRICAL WORK TO BE PERFORMED BY A LICENSE CONTRACTOR
- ALL FINISHED PICKED OUT BY OWNER
- ALL DOOR SIZES TO BE VERIFIED BY OWNER
- ALL WINDOW SIZES TO BE VERIFIED BY OWNER
- ATTIC ACCESS TO BE VERIFIED BY OWNER
- THIS PLAN IS DESIGNED FOR INTENDED USE OF JAMES HARDE CORNIS PACKAGE. CONTACT BUILDER/CONTRACTOR FOR VERIFICATION AND APPROVAL. ANY QUESTIONS ON PRODUCT CALL 806.224.5710



① SITE PLAN  
1/8" = 1'-0"



Lot 97 IRON HORSE  
Jason Nelsoey

Plan Use Agreement  
By using these plans builder/owner agrees to the following. These plans are the property of bh drafting and design and are not to be traced, reproduced, or reused for construction without written consent of bh drafting and design. Builder/owner shall check and verify all drawings prior to construction.

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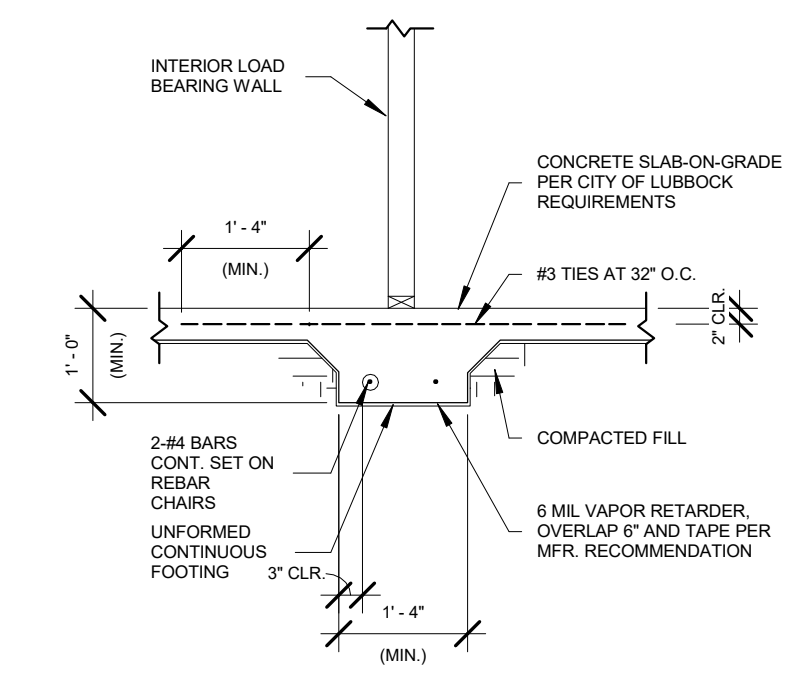
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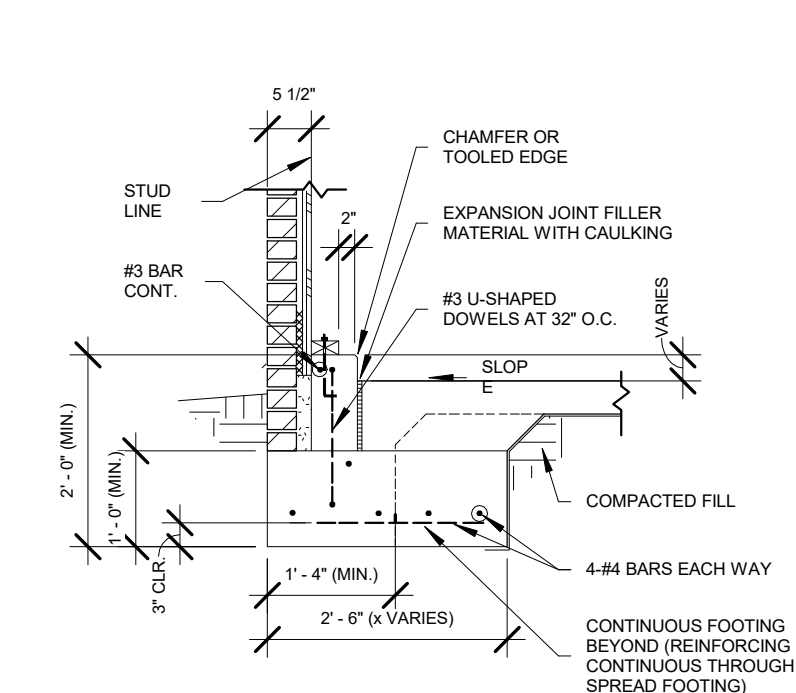
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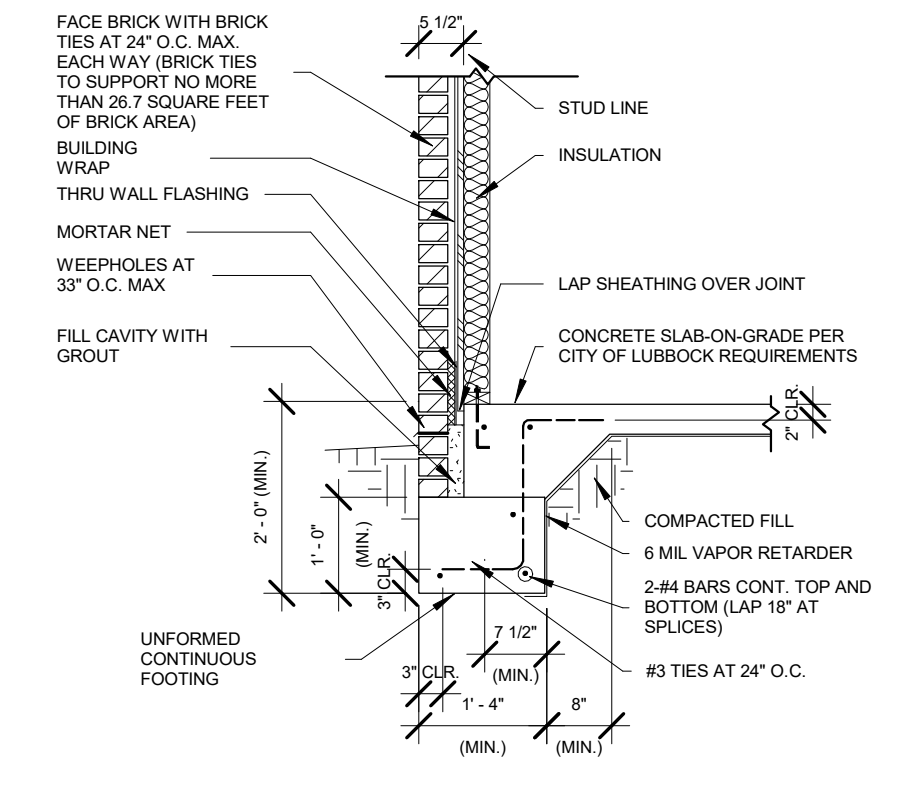
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1 CONTINUOUS FOOTING FOR INTERIOR LOAD BEARING WALL  
1/2" = 1'-0"



2 TWO-POUR SPOT FOOTING AT GARAGE DOOR OPENING  
1/2" = 1'-0"



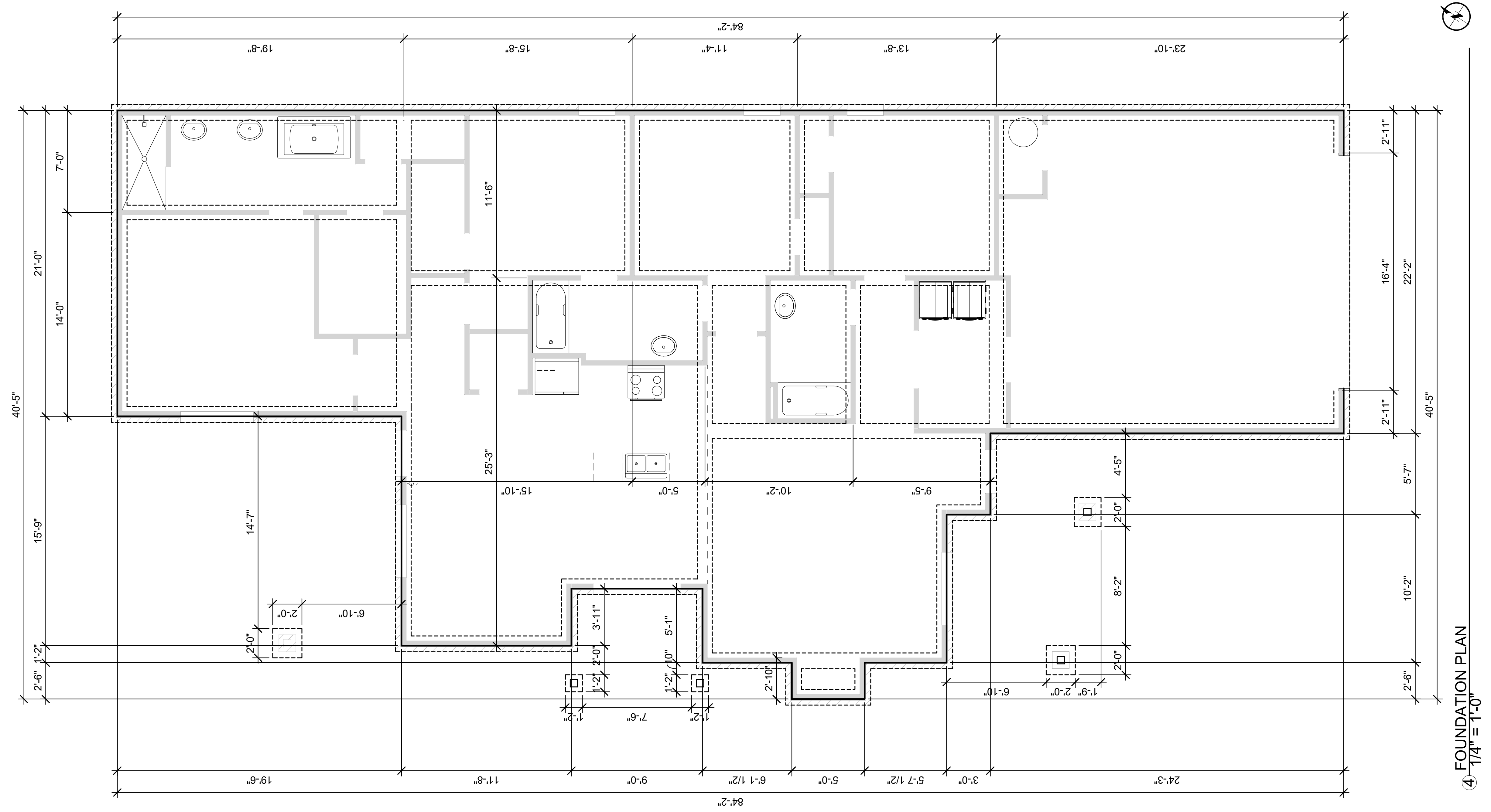
3 TYP. TWO-POUR COMBINATION EXTERIOR FOOTING  
1/2" = 1'-0"

GENERAL NOTES

1. ALL ELECTRICAL, PLUMBING, & HVAC WORK TO BE PERFORMED BY A LICENSE CONTRACTOR.
2. CONCRETE TO BE 3000 PSI W/#3 @ 16" O.C.E.W. OR FIBERMESH. GARAGE FLOOR TO BE POURED SEPARATELY AND SLOPE 1/4" PER 1'-0" AWAY FROM RESIDENT.
3. FLATWORK TO SLOPE 1/4" PER 1'-0" AWAY FROM RESIDENT.
4. ALL SHOWER FLOORS TO BE RECESSED 3-1/2" INCHES. UNLESS OTHERWISE NOTED

FOUNDATION NOTES

1. ALL CONCRETE IS 3,000 PSI W/ POLYPROPYLENE FIBERMESH. POLYPROPYLENE FIBERMESH CAN NOT REPLACE REBAR.
2. ADD 5%-6% AIR ENTRAINMENT TO EXTERIOR CONCRETE.
3. REBAR LARGER THAN #3 GRADE 60.
4. COMPACT SUBGRADE: 95% MIN STD PROCTOR.
5. 4" TYPICAL SLAB THICKNESS (NOT 3 1/2").



4 FOUNDATION PLAN  
1/4" = 1'-0"



Lot 97 IRON HORSE  
Jason Nelson

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**GENERAL NOTES**

1. ALL ELECTRICAL, PLUMBING & HVAC WORK TO BE PERFORMED BY A LICENSED CONTRACTOR.
2. ALL FINISHES SELECTED BY OWNER.
3. VERIFY ALL DOOR HEIGHTS.
4. VERIFY ALL WINDOW SIZES.
5. VERIFY ATTIC STAIR LOCATION. INSTALL PER MANUFACTURERS INSTRUCTIONS.

**HEADER SCHEDULE**

SPAN	SIZE
4'-0" TO 4'-11"	2- 2x6'S
5'-0" TO 6'-6"	2- 2x8'S
6'-7" TO 8'-3"	2- 2x10'S
8'-4" TO 10'-0"	2- 2x12'S

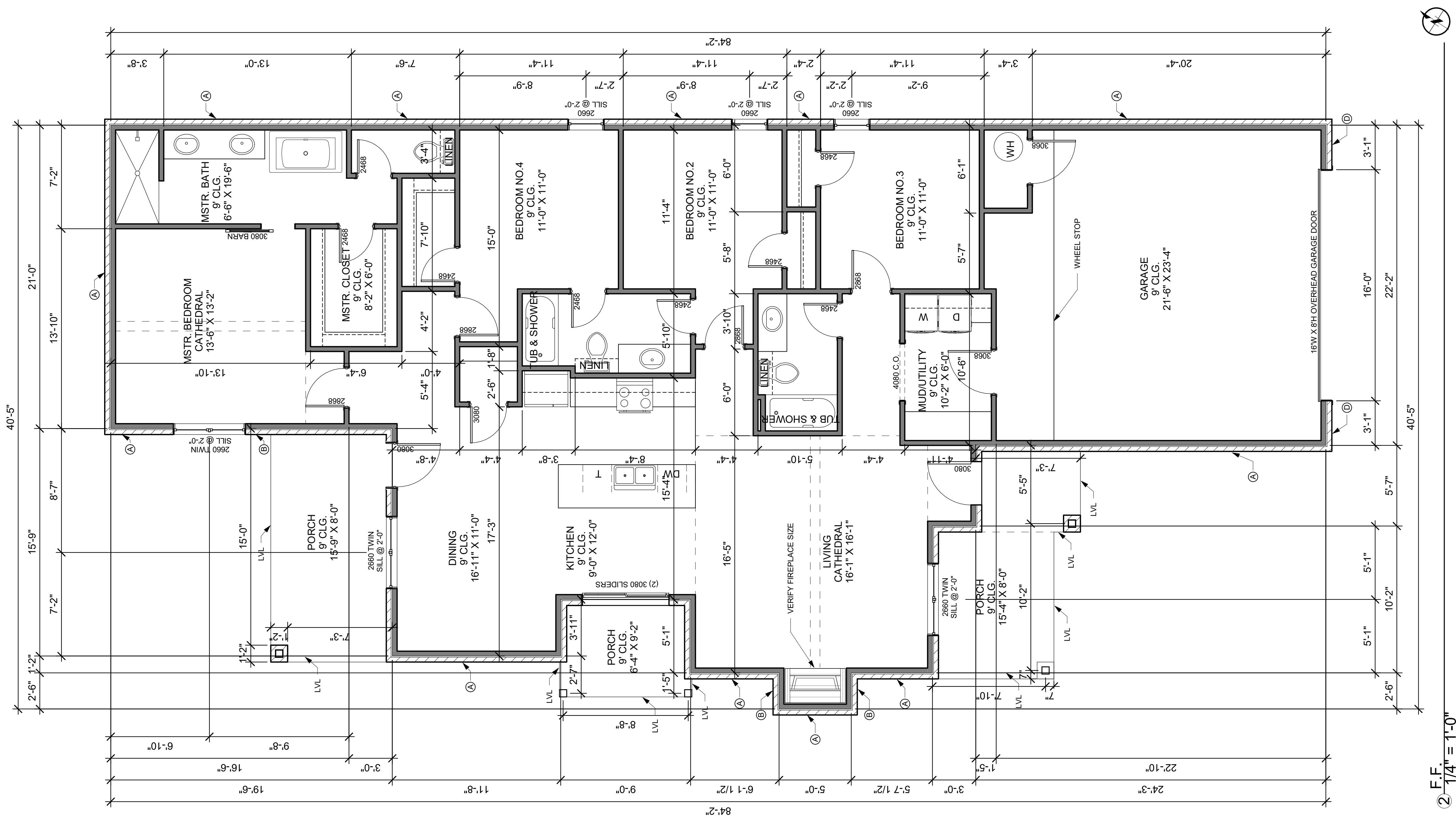
**NOTES:**

1. ALL HEADERS SPANNING 10'-0" OR GREATER NEED AN ENGINEERED BEAM.
2. ALL HEADERS AT FIRST FLOOR OF TWO STORY HOUSE TO BE 2- 2x12'S WHEN THERE IS A FLOOR ABOVE, UNLESS OTHERWISE NOTED.
3. USE O.S.B. BLOCKS AS HEADER FILLERS UNLESS LOCAL CODE REQUIRES CONTINUOUS O.S.B. FILLER.

**WALL BRACING**

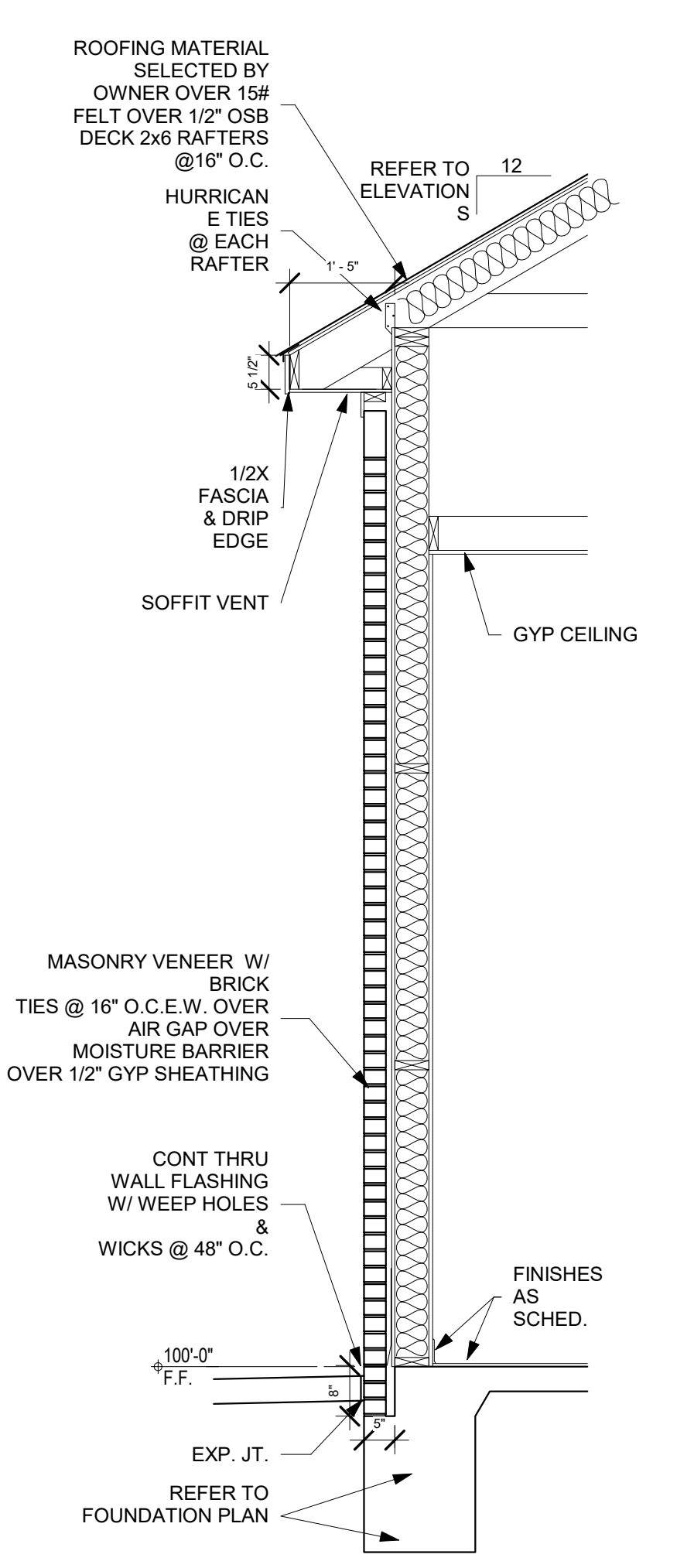
AS INDICATED BY:

- A. BRACED WALL PANEL FOR ONE STORY AND TWO STORY APPLICATIONS. MINIMUM 4'-0"
- B. ALTERNATE BRACED WALL PANEL FOR ONE STORY APPLICATIONS. 2'-8" TO 4'-0"
- C. SIMPSON STRONGWALL 18", 24", 32"
- D. FIELD- FABRICATED PORTAL FRAME SYSTEM



② F.F. = 1'-0"  
① 1/2" = 1'-0"

**NOTE:**  
ALL STRUCTURAL FRAMING AND FOUNDATION SHALL BE SIZED ACCORDING TO LOCAL BUILDING CODES

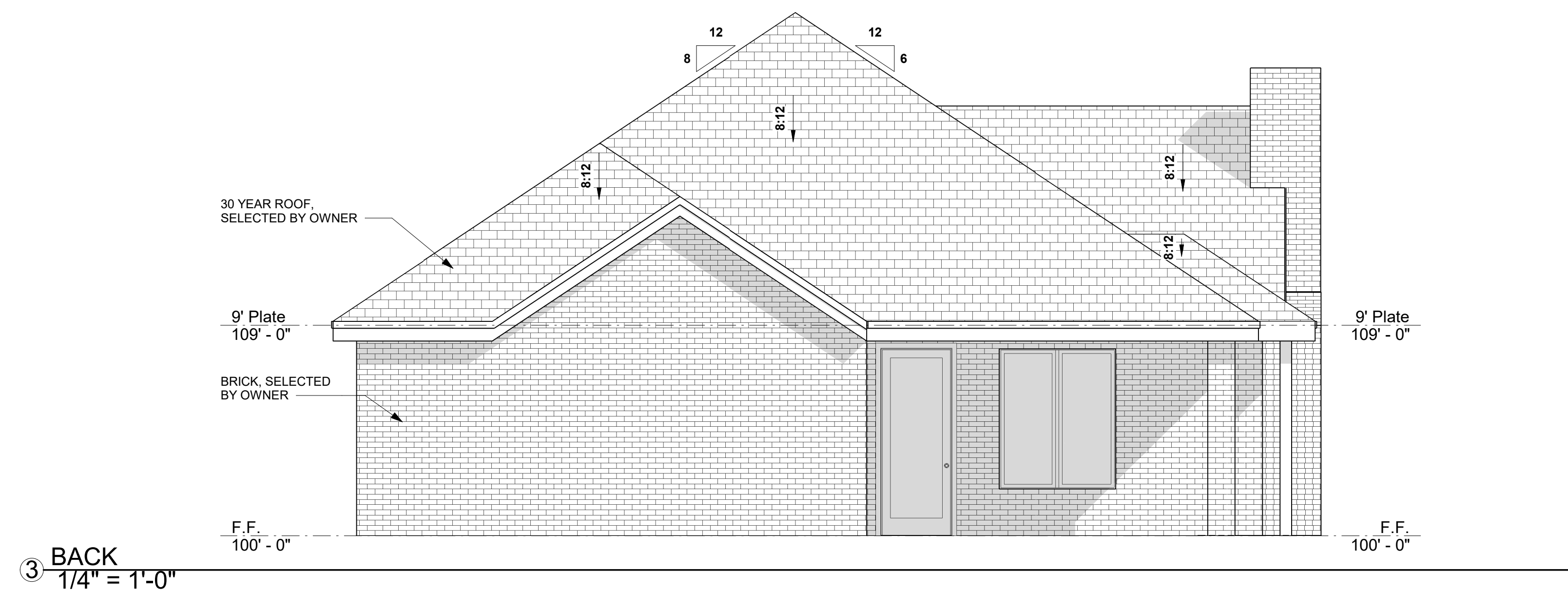
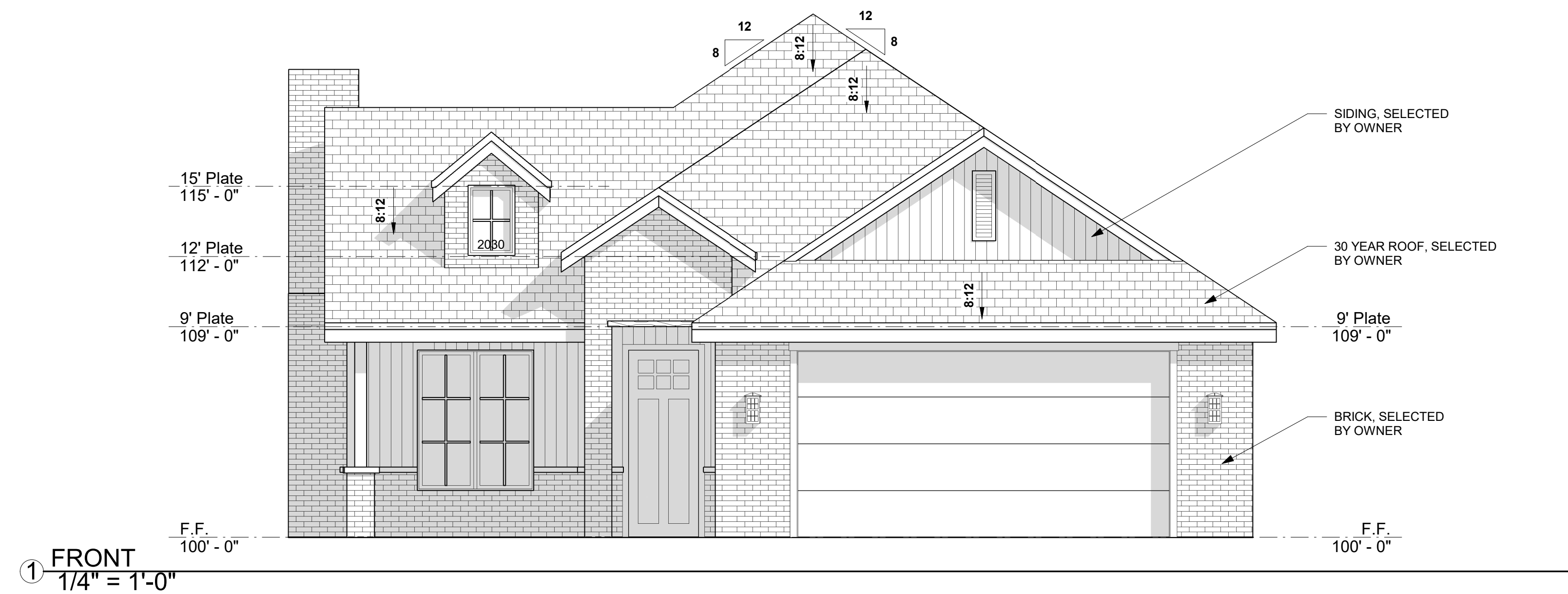


① WALL SECTION  
1/2" = 1'-0"



**Lot 97 IRON HORSE**  
 Jason Nelson

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By using these plans, the builder/owner agrees to the following: These plans are the property of the drafter and design and are not to be traced, reproduced, or reused for construction without written consent of the drafter and design. Builder/owner shall check and verify all drawings prior to construction.	
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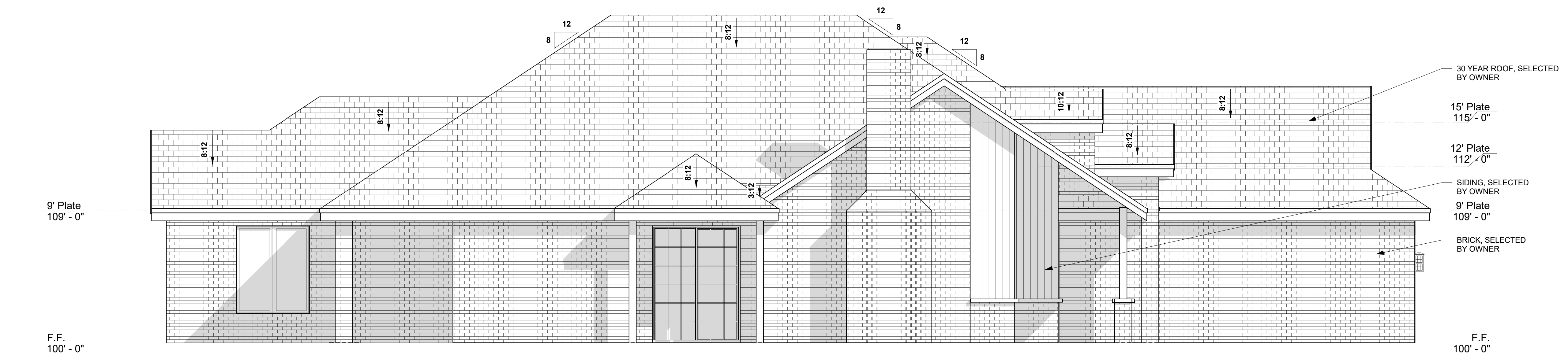
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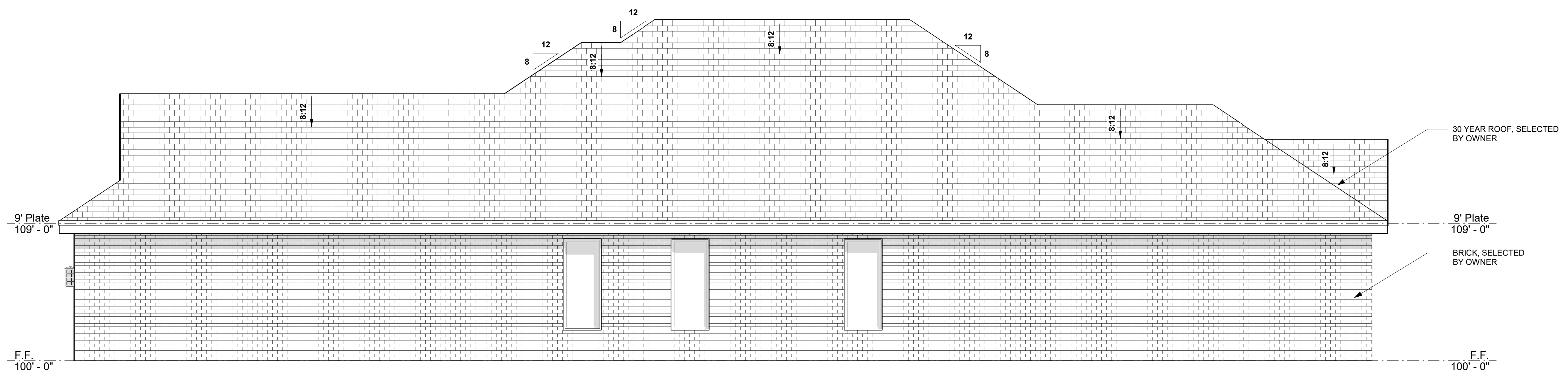
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**Lot 97 IRON HORSE**  
Jason Nelson



① LEFT  
1/4" = 1'-0"



② RIGHT  
1/4" = 1'-0"

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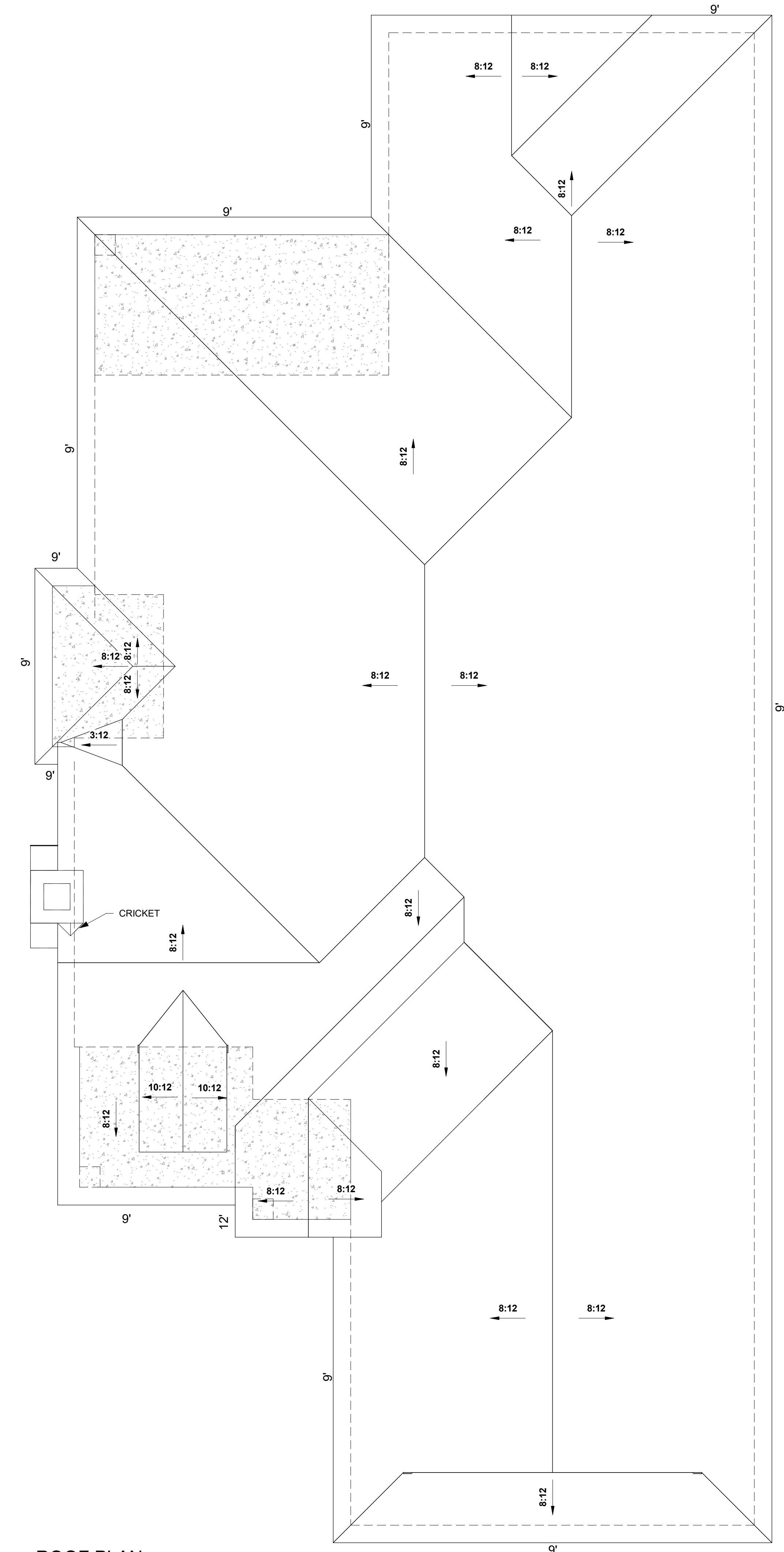
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**Lot 97 IRON HORSE**  
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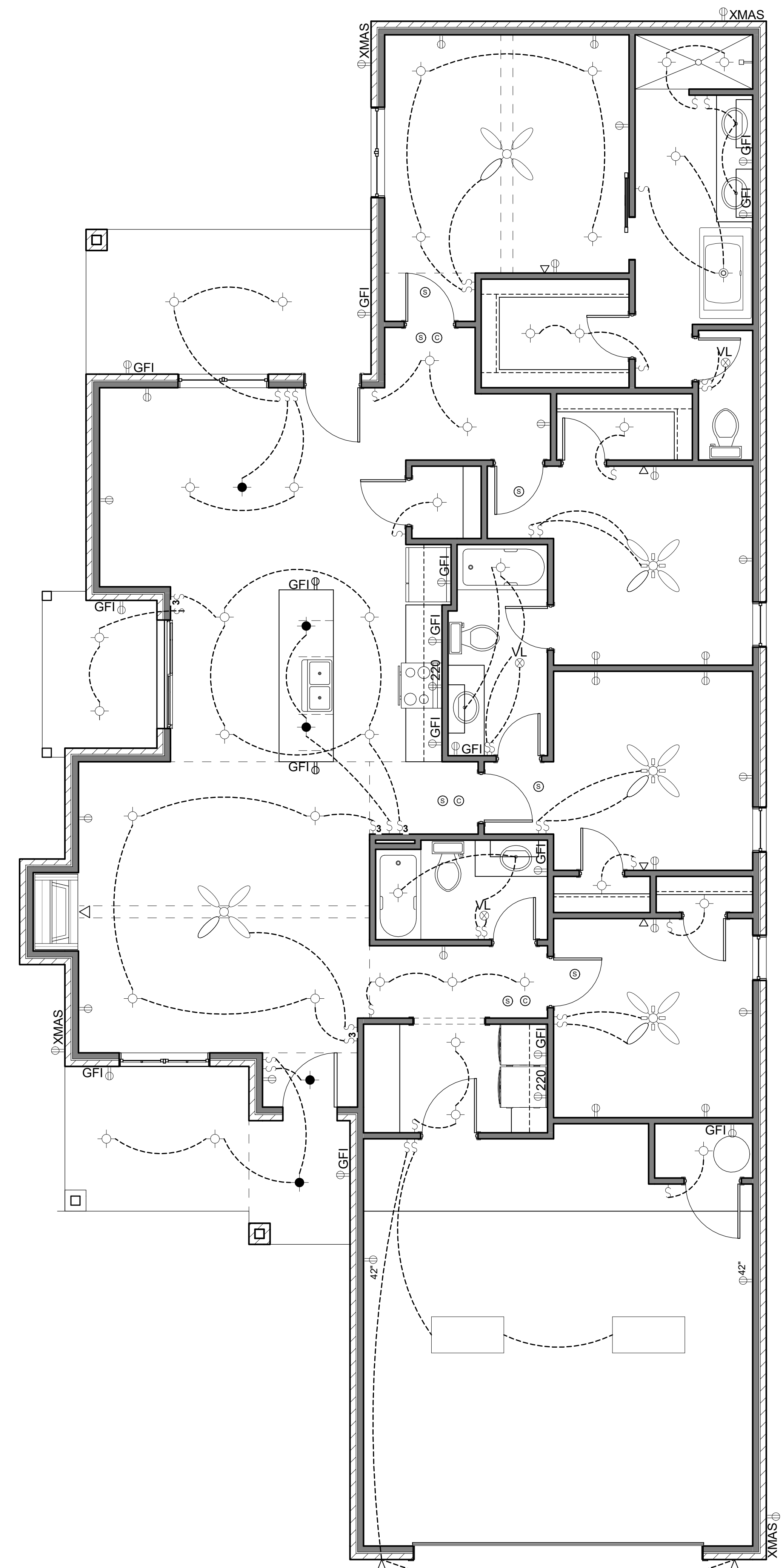


① ROOF PLAN  
1/4" = 1'-0"

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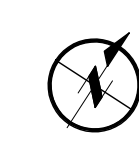
**GENERAL NOTES**

1. ALL ELECTRICAL WORK TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR
2. VERIFY SWITCHING & COMM LAYOUT WITH OWNER
3. VERIFY ALL POWER REQUIREMENTS FOR APPLIANCES, WATER HEATERS, HVAC UNITS, ELECTRIC FIREPLACE, ETC.
4. PROVIDE AND INSTALL ATTIC LIGHTING AND POWER PER OWNER
5. ALL EXTERIOR OUTLETS TO BE WEATHER-PROOF
6. VERIFY ALL CABLE AND TELEPHONE JACKS WITH OWNER
7. ELECTRICAL LAYOUT IS SCHEMATIC ONLY, VERIFY ALL LOCATIONS WITH BUILDER/OWNER

**ELECTRICAL LEGEND**

- Ⓜ 3-WAY LIGHT SWITCH
- Ⓢ SPST LIGHT SWITCH
- Ⓜ 110V DUPLEX RECEPTACLE OR 220V RECEPTACLE
- Ⓜ DUPLEX RECEPTACLE WITH GROUND FAULT PROTECTION
- ▭ 48" (4 LAMP) SURFACE MOUNTED FLUORESCENT LIGHT
- ⊙ RECESSED INCANDESCENT CAN LIGHT (OPTION: SURFACE MOUNTED IN CLOSETS)
- ⊙ RECESSED DIRECTIONAL INCANDESCENT LIGHT
- PENDANT MOUNTED INCANDESCENT LIGHT
- ⊙ CEILING FAN WITH LIGHT KIT
- ⊙ CEILING FAN WITHOUT LIGHT KIT
- ⊙ HEATER/ EXHAUST VENT/ LIGHT
- ▭ INCANDESCENT WALL MOUNTED VANITY LIGHTS
- ▽ DATA OUTLET ( LAN OR COAX- VERIFY WITH OWNER)
- ▽ TELEPHONE
- TRACK LIGHT
- ▽ EAVE MOUNTED EXTERIOR FLOOD LIGHT
- INTERIOR WALL SCNCE
- EXTERIOR WALL SCNCE
- Ⓜ SMOKE- CARBON DIOXIDE DETECTOR
- HEATER 200 POWER

1 ELECTRICAL PLAN  
1/4" = 1'-0"



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