

1. THE CONTRACTOR AND SUBCONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT ALL QUESTIONABLE CONDITIONS TO THE DESIGNER BEFORE STARTING THE WORK.
2. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
3. COORDINATE ALL PORTIONS OF THE WORK.
4. DIMENSIONS SHOWN ON FLOOR PLAN ARE: STUD DIMENSIONS - FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED.
5. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW FOR EMERGENCY EGRESS, ALL EGRESS WINDOWS TO MEET LOCAL CODES AND REGULATIONS.
6. PROVIDE SAFETY GLASS IN ALL THE FOLLOWING LOCATIONS: ANY BATHROOM WINDOWS WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60" ABOVE THE F.F.E., ALL STAIR CASES, ALL WINDOWS WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 12" ABOVE THE F.F.E. AND ALL EXTERIOR DOORS WITH GLAZING.
7. WINDOWS TO BE SCREWED AND INSTALLED TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.
8. ALL BOTTOM PLATES, INTERIOR AND EXTERIOR, TO BE TREATED LUMBER.
9. WALLS LESS THAN 2" TO PROPERTY LINE ARE REQUIRED TO HAVE A ONE HOUR FIRE RATING.
10. BATHROOM EXHAUST FAN SHOULD BE TERMINATED AT LEAST 1" ABOVE INSULATION OR VENTED THROUGH ROOF IF SPRAY FOAM IS USED.
11. SHOWER WALLS MUST USE CEMENT BACKER BOARD WHEN TILE IS INSTALLED.

HEATED & COOLED OB:	1,796 SF
HEATED & COOLED OF:	1,720 SF
<hr/>	
FIRST FLOOR LIVING:	1,720 SF
GARAGE:	538 SF
FRONT PORCH:	64 SF
BACK PORCH:	246 SF

BRACED WALL PANEL

ALTERNATE BRACED WALL PANEL

LAMINATED BEAM

[illegible]

#	Revision	Date

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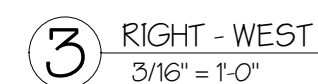
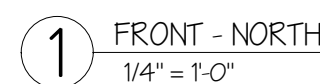
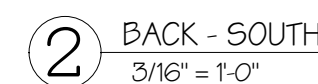
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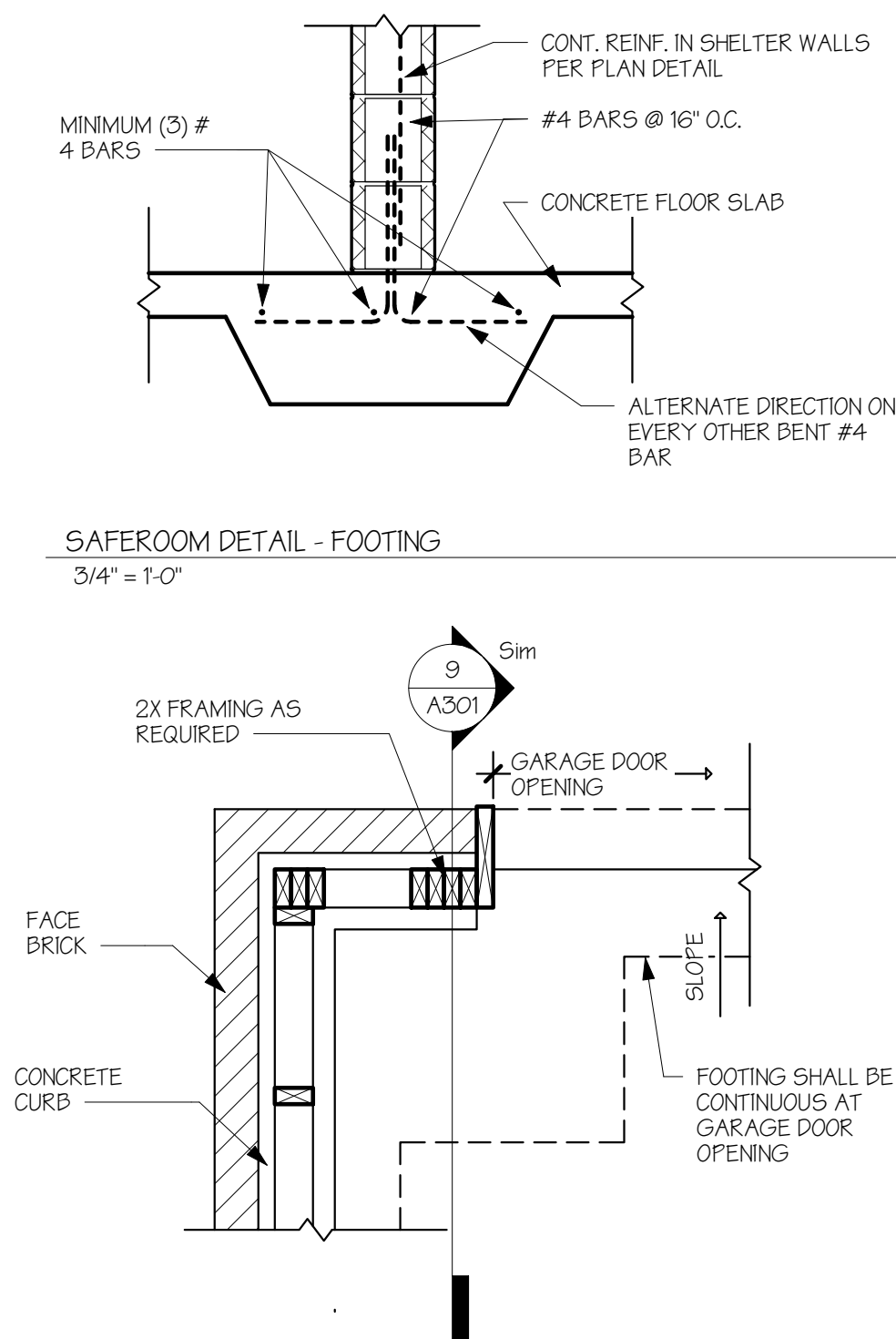
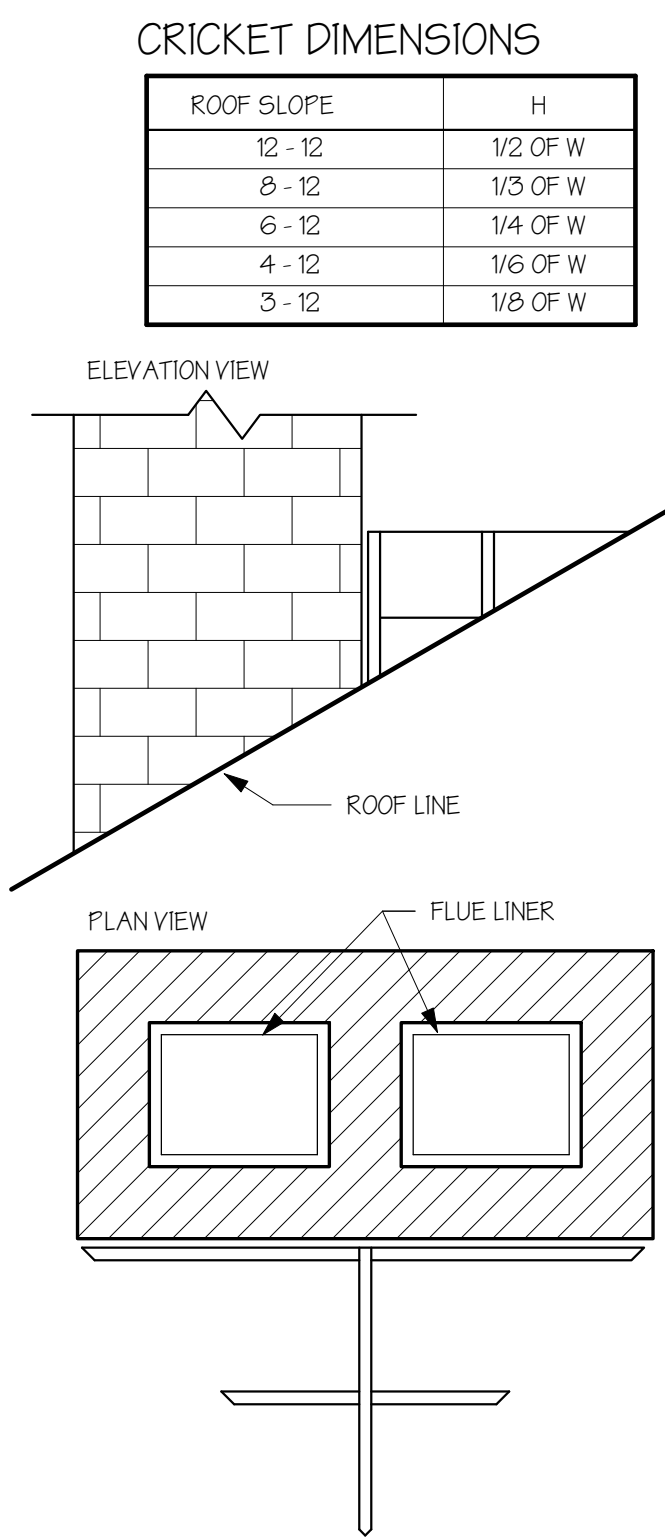
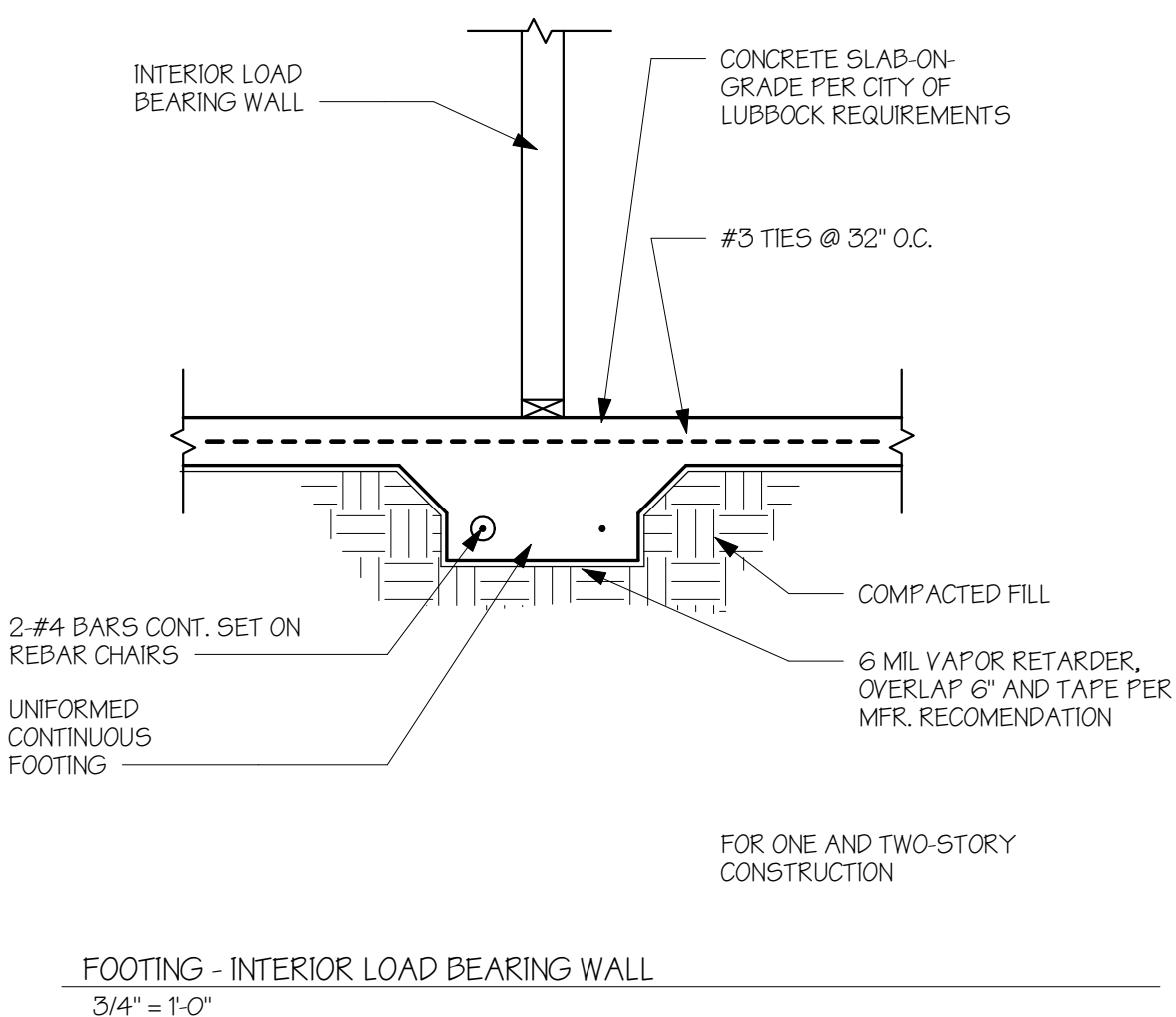
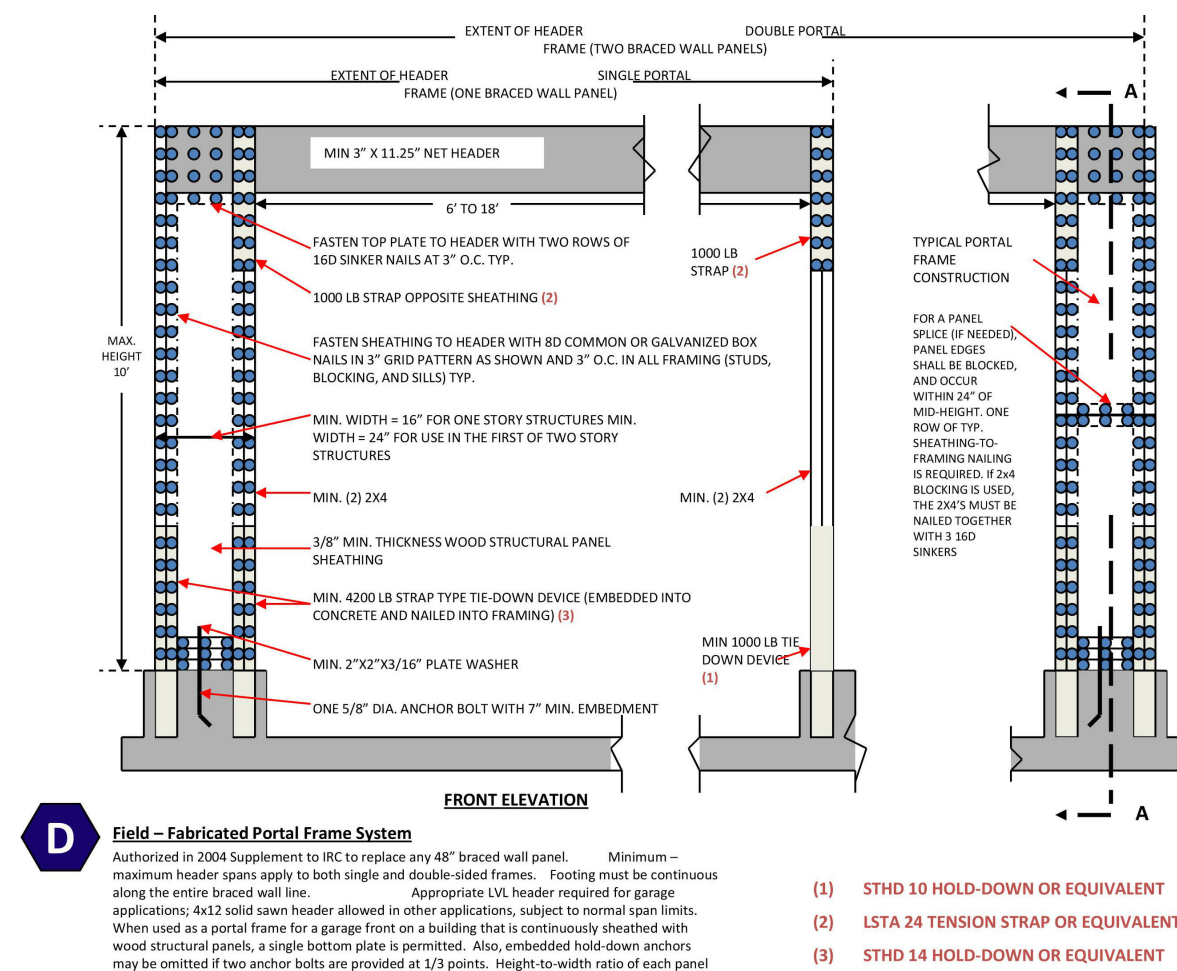
FLOOR PLAN

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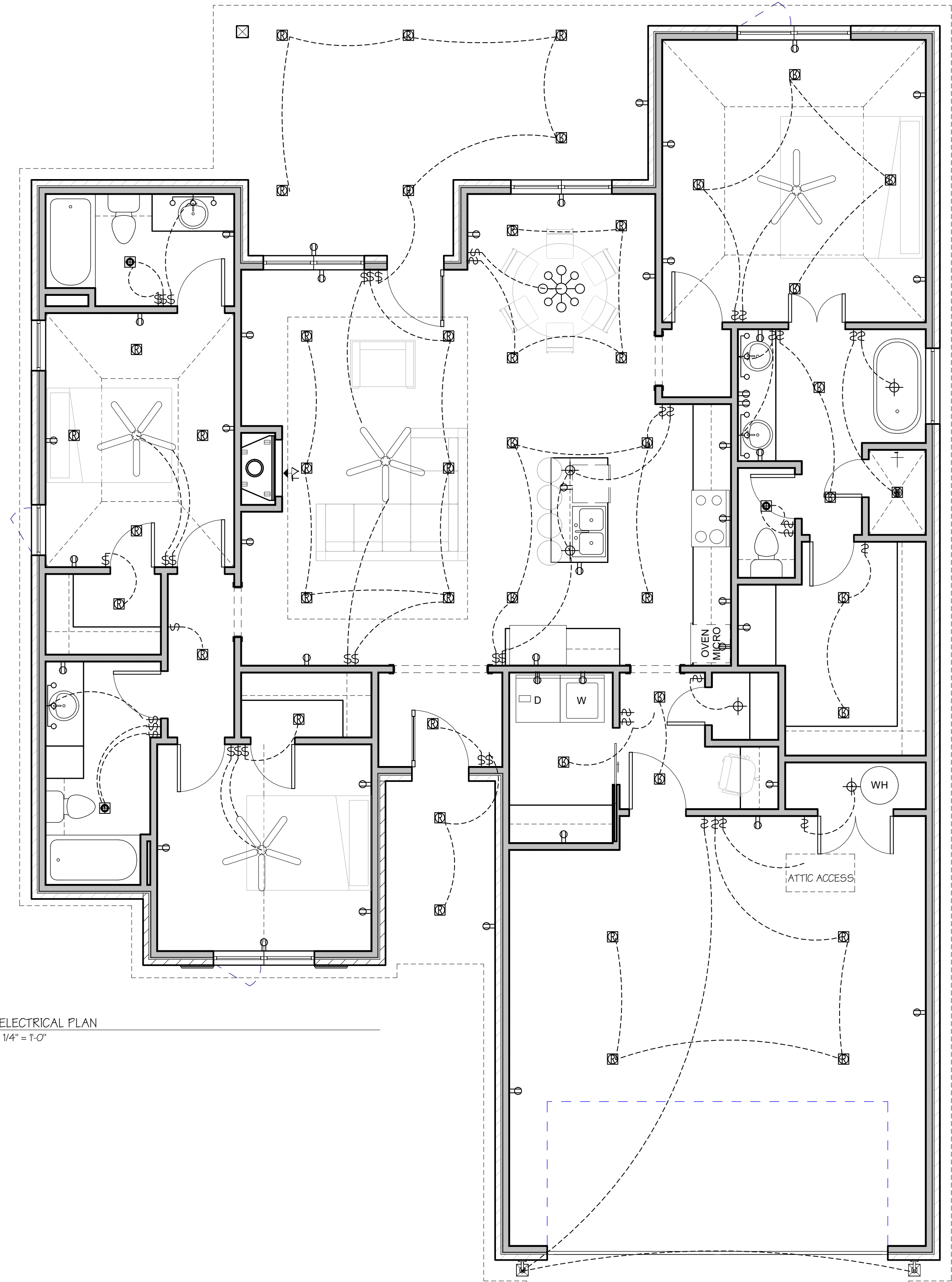
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ELECTRICAL NOTES:

1. ELECTRICAL COMPONENTS & EQUIPMENT SHALL MEET OR EXCEED ALL N.E.C. AND LOCAL CODES.
2. INSTALLATIONS SHALL COMPLY WITH ALL ENTITIES HAVING JURISDICTION.
3. CONTRACTOR SHALL OBTAIN OWNER APPROVAL FOR ALL FIXTURE SELECTIONS AND LOCATIONS.
4. VERIFY APPLIANCES AND EQUIPMENT ELECTRICAL REQUIREMENTS.
5. VERIFY SECURITY SYSTEM & INTERCOM W/BUIDLER.
6. VERIFY CABLE/DATA/TELEVISION JACK LOCATIONS PRIOR TO INSTALLATION.
7. VERIFY ALL FLOOR OUTLETS AS PER OWNER.
8. VERIFY ALL LIGHTING IN KITCHEN, BREAKFAST, & LIVING ROOM.
9. VERIFY ALL STEREO, INTERCOM, & COMPUTER WIRING AS PER OWNER.
10. VERIFY ALL OUTLETS ON EXTERIOR OF HOUSE.
11. ALL EXTERIOR ELECTRICAL OUTLET/SWITCHES TO BE WEATHER PROOF.
12. VERIFY ALL OUTLETS IN SLOTTIS.
13. VERIFY ALL EXTERIOR TREE LIGHTING & LANDSCAPE LIGHTING.
14. PROVIDED LIGHTING THROUGHOUT ATTIC.
15. VERIFY ELECTRICAL FOR ATTIC FANS.
16. FIELD VERIFY LOCATION OF POWER TO BE BROUGHT TO HOUSE.
17. ELECTRICAL AND LIGHTING LAYOUT IS REFERENCE ONLY; FINAL LAYOUT TO BE VERIFIED BY CONTRACTOR PRIOR TO PERFORMING WORK.



SK	Drawn by:	JM	08-	21-
	Checked by:			
	Project Issue Date:			
	Project Number:			

815 N. 61st AVE
Nesloney Homes
Iron Horse Lot 98



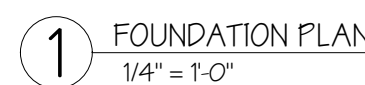
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1. ON LOTS THAT REQUIRE MORE THAN TWO FEET OF FILL AT ANY POINT, CHECK WITH THE INSPECTION DEPARTMENT FOR DIRECTION AS TO NEEDS FOR ENGINEERED FOUNDATION DETAILS.
2. REQUIREMENT OF SAND FILL
3. REQUIREMENT OF VAPOR RETARDER
4. REQUIREMENT OF PROPER FILL MATERIAL AND COMPACTION OF ALL TRENCHES IN FOUNDATION
5. CONSIDER WHERE CONCENTRATED LOAD POINTS WILL OCCUR AND CONSIDER ADDITIONAL CONCRETE SUPPORT AT THOSE LOCATIONS.
6. ADJUST FOOTINGS AT ZERO LOT LINES NOT TO ENCRONCH ON ADJACENT LOT.
7. CONSIDER FOOTINGS AND FOUNDATION DETAILS AT BASEMENT LOCATIONS AND IT'S IMPACT ON MAIN FLOOR FOUNDATION ABOVE
8. NOTE REQUIREMENTS FOR TERMITE TREATMENT
9. BUILDER SHOULD BE KNOWLEDGEABLE ABOUT EXISTING NATURAL SOILS, INFORMATION FROM THE INSPECTION DEPARTMENT AND THE INFORMATION FROM THE SOILS INFORMATION PRIOR TO CONSTRUCTION ON LOT.



1. REFERENCE CIVIL SHEETS FOR ALL SITE DEMOLITION.
2. REFERENCE CIVIL SHEETS FOR FIRE LANE STRIPING.
3. REFERENCE CIVIL SHEETS FOR IRRIGATION SLEEVE LOCATION.
4. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
5. ALL NEW LANDSCAPED AREAS SHALL RECEIVE 6" THICK TOPSOIL INSTALLED TO 2" BELOW T.O.C. ALL ADDITIONAL LANDSCAPING IMPROVEMENTS BY OWNER.
6. SPLASH PANS AT ALL DOWNSPOUT LOCATIONS TERMINATING IN LANDSCAPED AREAS.
7. REMOVE ALL EXISTING CURB & GUTTER PLUS ANY EXISTING SITE IMPROVEMENTS AS REQUIRED BY THE WORK.



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