FLOOR PLAN NOTES:

- 1. THE CONTRACTOR AND SUBCONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE CONTRACT DOCUMENTS AND SHALL
- IMMEDIATELY REPORT ALL QUESTIONABLE CONDITIONS TO THE DESIGNER BEFORE STARTING THE WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE ALL PORTIONS OF THE WORK.
- 4. DIMENSIONS SHOWN ON FLOOR PLAN ARE STUD DIMENSIONS FROM FACE OF STUD TO FACE OF STUDE UNLESS OTHERWISE NOTED. 5. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW FOR EMERGENCY EGRESS. ALL EGRESS WINDOWS TO MEET LOCAL
- 6. PROVIDE SAFETY GLASS IN ALL THE FOLLOWING LOCATIONS: ANY BATHROOM WINDOWS WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60" ABOVE THE F.F.E., ALL STAIR CASES, ALL WINDOWS WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 12" ABOVE THE F.F.E., AND ALL
- EXTERIOR DOORS WITH GLAZING.
- 7. WINDOWS TO BE SCREWED AND INSTALLED TO MANUFACTURER'S INSTALLATION INSTRUCTIONS. 8. ALL BOTTOM PLATES, INTERIOR AND EXTERIOR, TO BE TREATED LUMBER.
- 9. WALLS LESS THAN 5' TO PROPERTY LINE ARE REQUIRED TO HAVE A ONE HOUR FIRE RATING.
 10. BATHROOM EXHAUST FANS SHOULD BE TERMINATED AT LEAST 10" ABOVE INSULATION OR VENTED THROUGH ROOF IF SPRAY FOAM IS USED.
- 11. SHOWER WALLS MUST USE CEMENT BACKER BOARD WHEN TILE IS INSTALLED.

AREA CALCULATIONS

HEATED & COOLED OB: HEATED & COOLED OF:	1,796 SF 1,720 SF
FIRST FLOOR LIVING: GARAGE: FRONT PORCH: BACK PORCH:	1,720 SF 538 SF 64 SF 246 SF

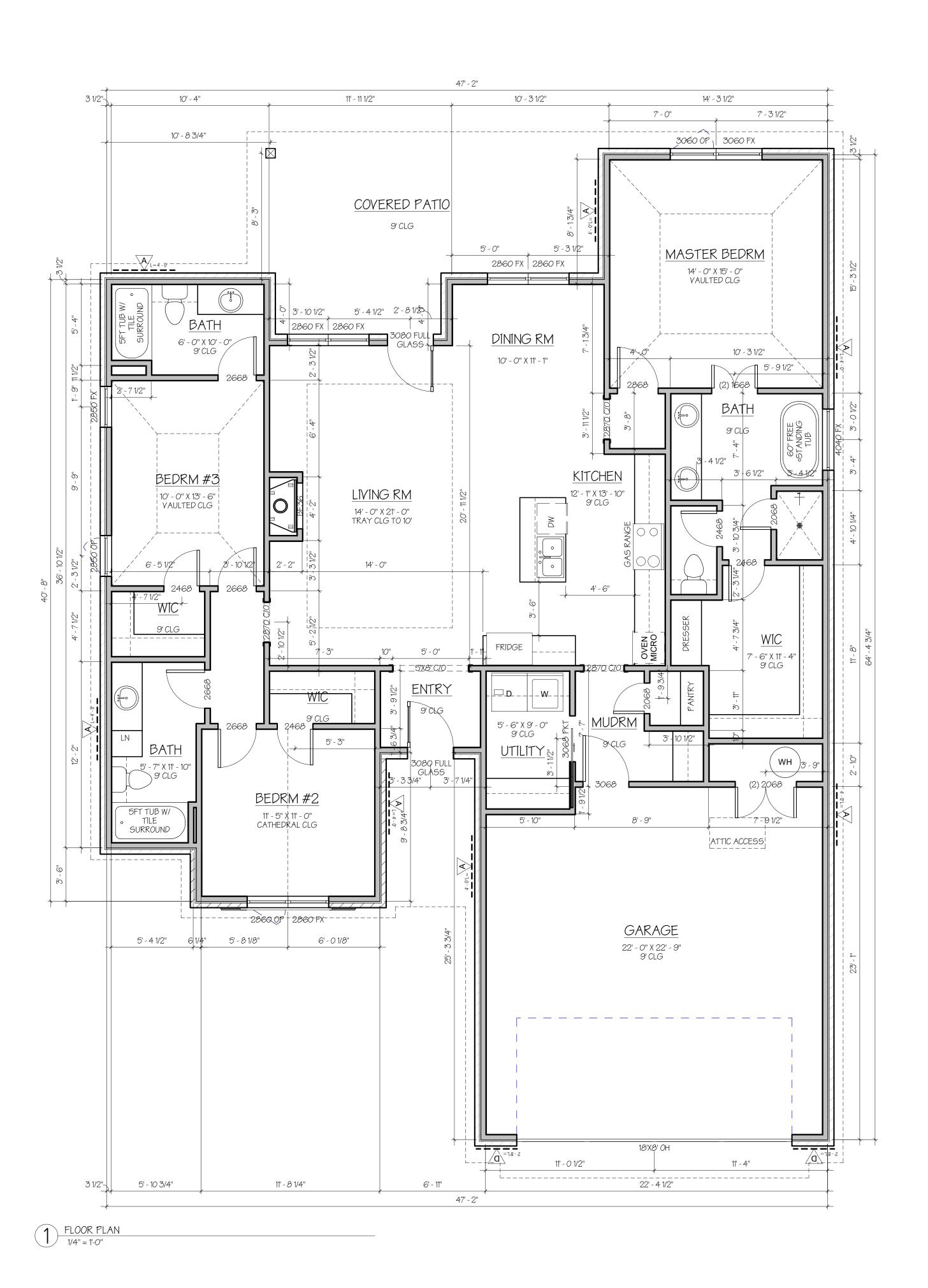
TOTAL OF: 2,568 SF

WALL PANEL BRACING

BRACED WALL PANEL ALTERNATE BRACED WAL

SEE WALL BRACING DETAILS ON SHEET A3





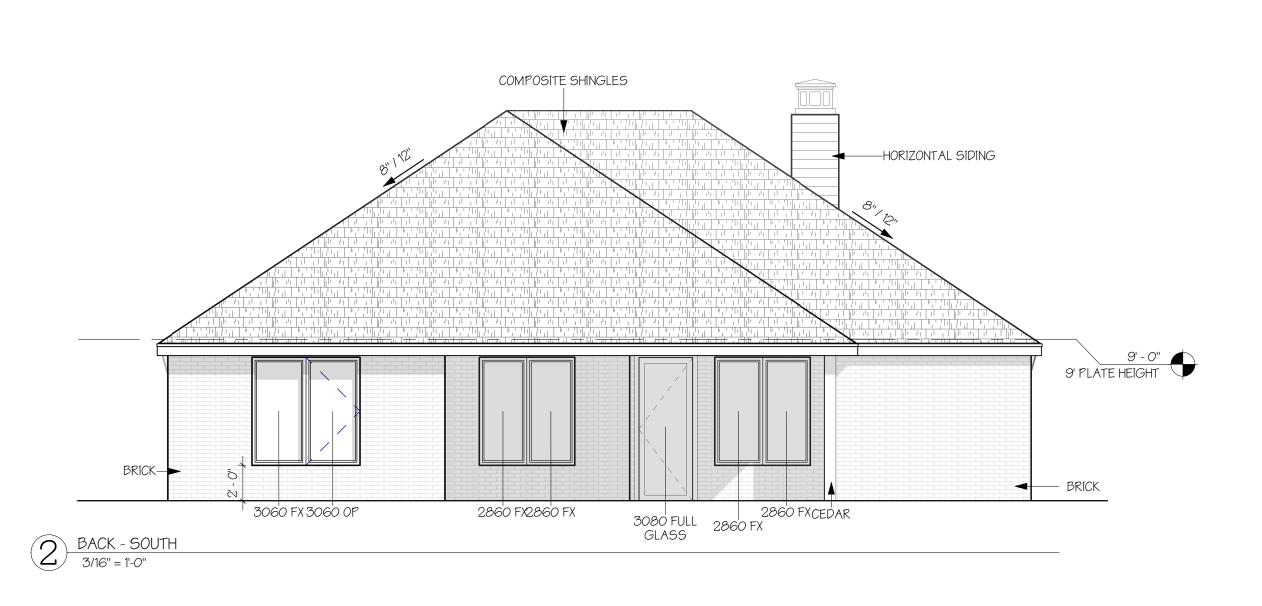
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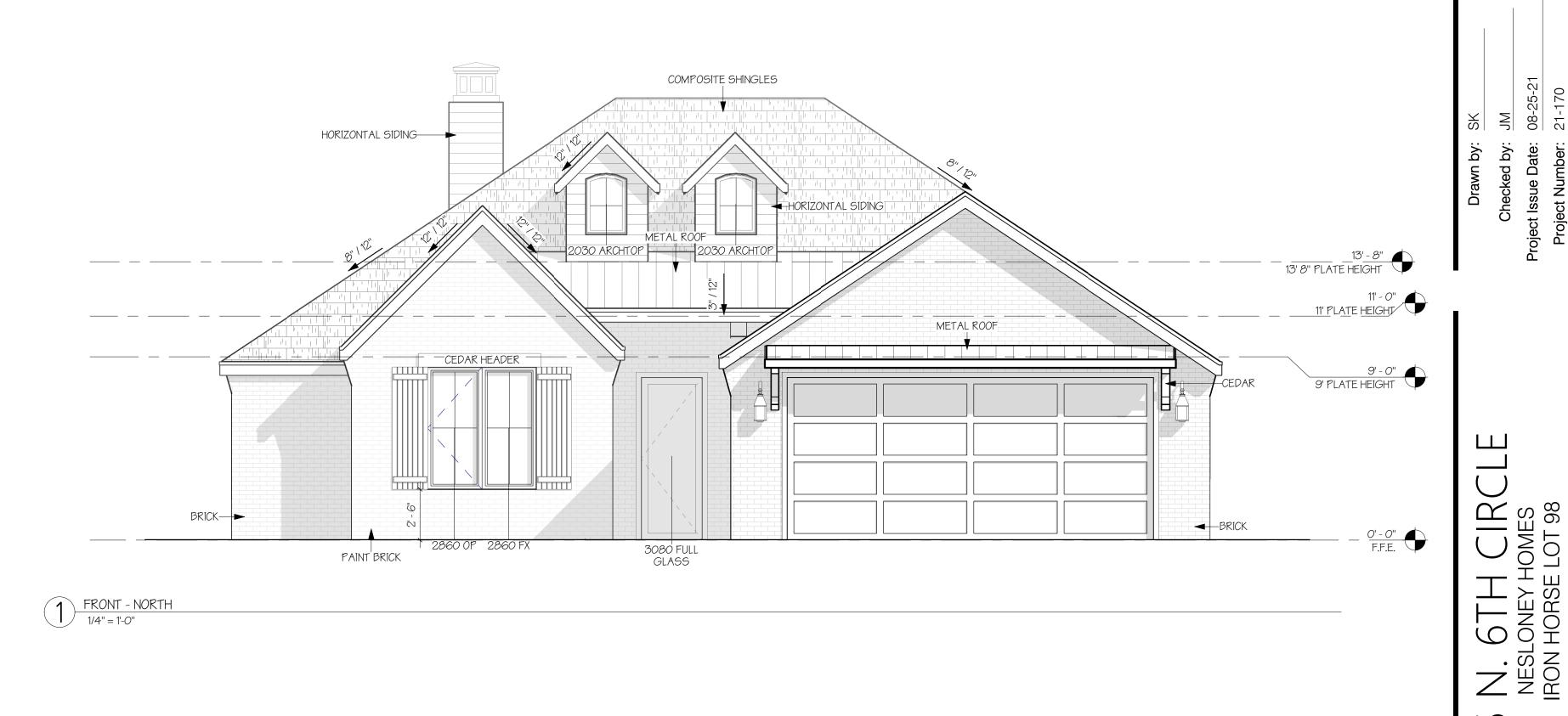
NESLONEY HOMES

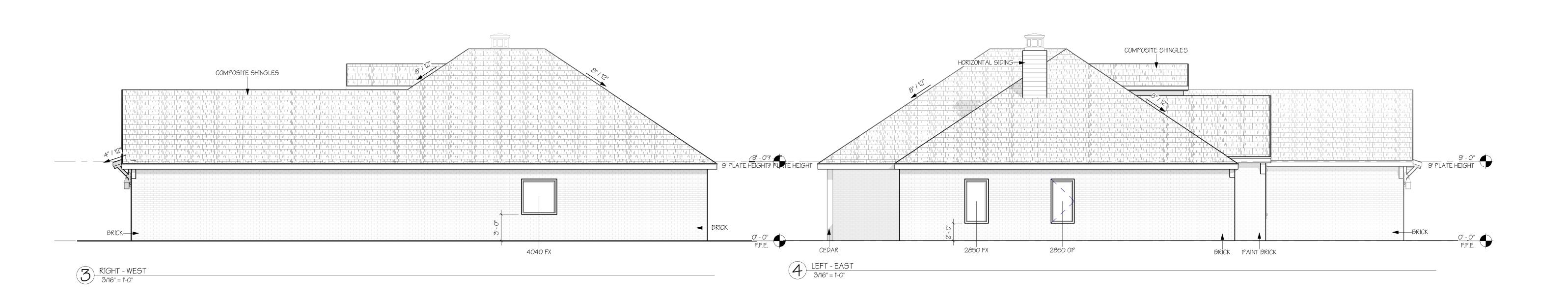
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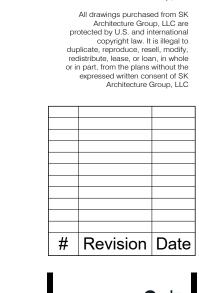
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SINGL<u>E PORTAL</u> FRAME (ONE BRACED WALL PANEL) MIN 3" X 11.25" NET HEADER 16D SINKER NAILS AT 3" O.C. TYP. FOR A PANEL SPLICE (IF NEEDED), PANEL EDGES SHALL BE BLOCKED, AND OCCUR WITHIN 24" OF MID-HEIGHT. ONE ROW OF TYP. SHEATHING-TOFRAMING NAILING IS REQUIRED. If 2x4 BLOCKING IS USED, THE 2X4'S MUST BE NAILED TOGETHER WITH 3 16D SINKERS NAILS IN 3" GRID PATTERN AS SHOWN AND 3" O.C. IN ALL FRAMING (STUDS BLOCKING, AND SILLS) TYP. MIN. WIDTH = 16" FOR ONE STORY STRUCTURES MIN. WIDTH = 24" FOR USE IN THE FIRST OF TWO STORY _3/8" MIN. THICKNESS WOOD STRUCTURAL PANEL ONE 5/8" DIA. ANCHOR BOLT WITH 7" MIN. EMBEDMENT

FRONT ELEVATION Field - Fabricated Portal Frame System uthorized in 2004 Supplement to IRC to replace any 48" braced wall panel. Minimum maximum header spans apply to both single and double-sided frames. Footing must be continuous along the entire braced wall line. Appropriate LVL header required for garage applications, 4x12 solid sawn header allowed in other applications, subject to normal span limits. When used as a portal frame for a garage front on a building that is continuously sheathed with wood structural panels, a single bottom plate is permitted. Also, embedded hold-down anchors may be omitted if two anchor bolts are provided at 1/3 points. Height-to-width ratio of each panel

INTERIOR LOAD

BEARING WALL

2-#4 BARS CONT. SET ON

FOOTING - INTERIOR LOAD BEARING WALL

REBAR CHAIRS -

UNIFORMED

CONTINUOUS

FOOTING -

(1) STHD 10 HOLD-DOWN OR EQUIVALENT

CONCRETE SLAB-ON-

GRADE PER CITY OF

#3 TIES @ 32" O.C.

LUBBOCK REQUIREMENTS

- COMPACTED FILL

FOR ONE AND TWO-STORY CONSTRUCTION

CONT. REINF. IN SHELTER WALLS

PER PLAN DETAIL

- 6 MIL VAPOR RETARDER,

MFR. RECOMENDATION

OVERLAP 6" AND TAPE PER

(2) LSTA 24 TENSION STRAP OR EQUIVALENT (3) STHD 14 HOLD-DOWN OR EQUIVALENT

6TF-ONEY HORSE

NESLONEY HOMES

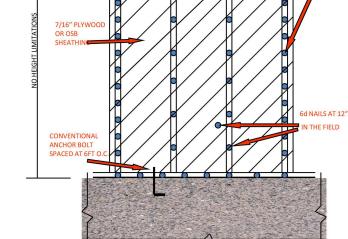
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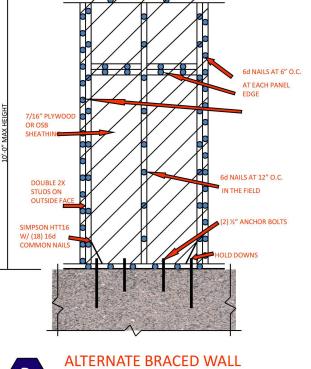
_____ MIN 4'-0" WIDE _____

8 8 8 8 8



BRACED WALL PANEL - A

1/4'' = 1'-0''



2'-8" MIN TO



1/4" = 1'-0"



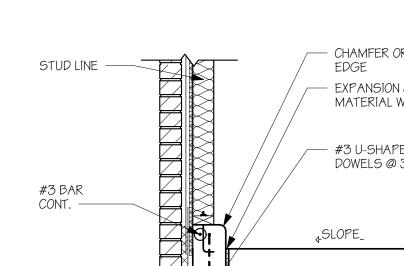
HOLDOWNS PROVIDED SHALL BE CAST INTO SLAB USING (2) SSTB28 AND 5/8" X 12 ANCHOR BOLTS. USE SWT16 TEMPLATE TO ENSURE PROPER SPACING (ALT. BOLTS SHALL BE POST INSTALLED WITH SET EPOXY AND 15" EMBED FOR HOLDOWN RODS AND 8"

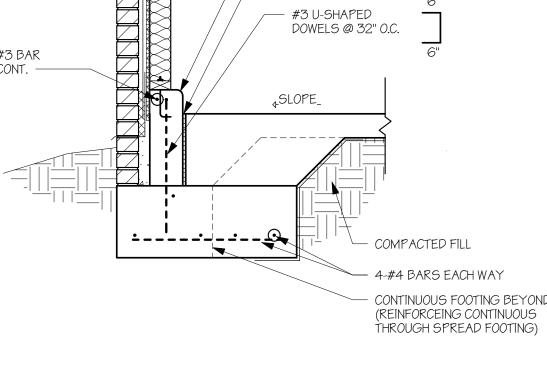
EMBED FOR ANCHOR BOLTS)

1/4" = 1'-0"

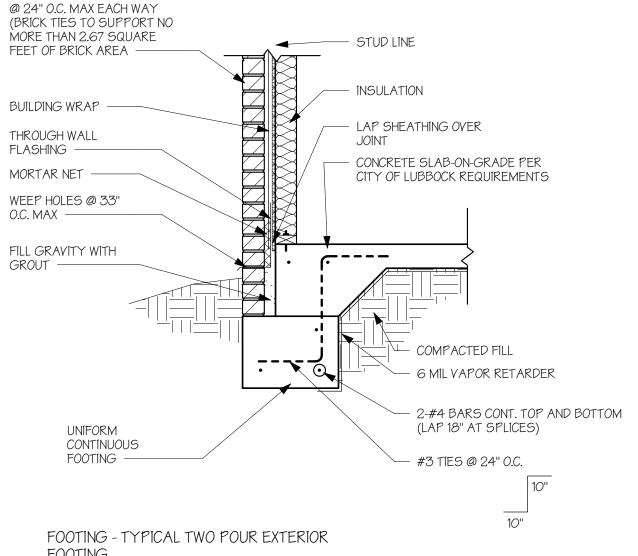
18",24",32"

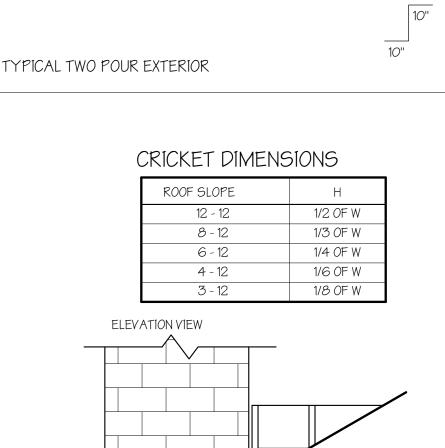


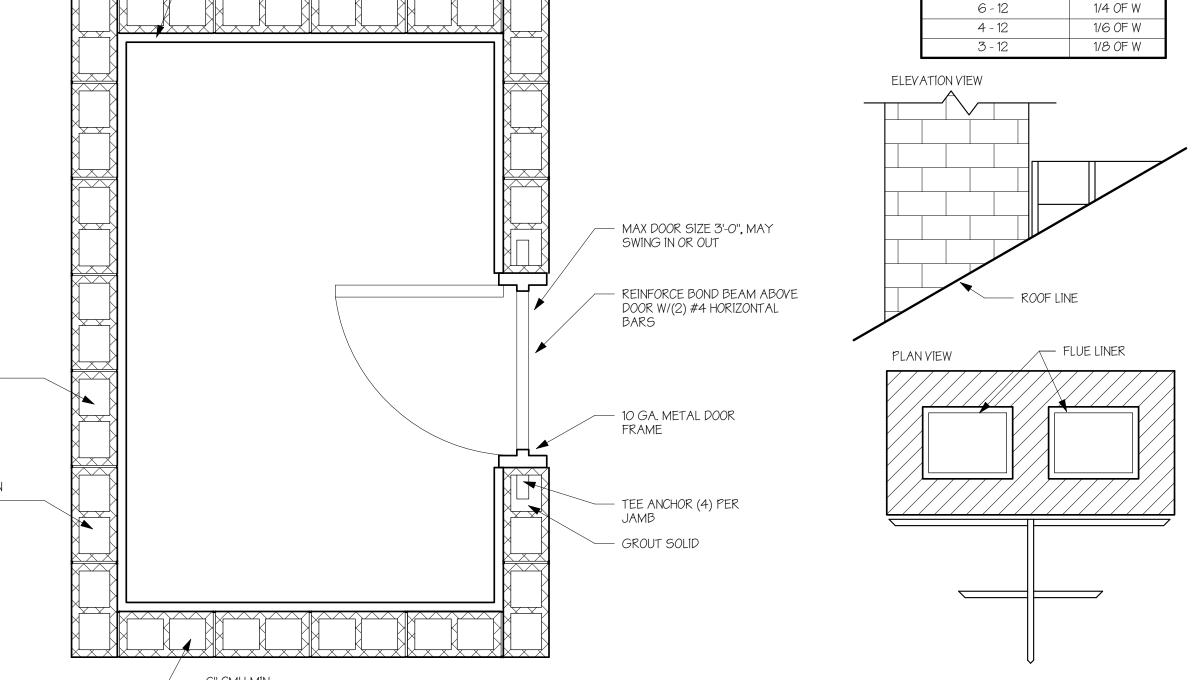


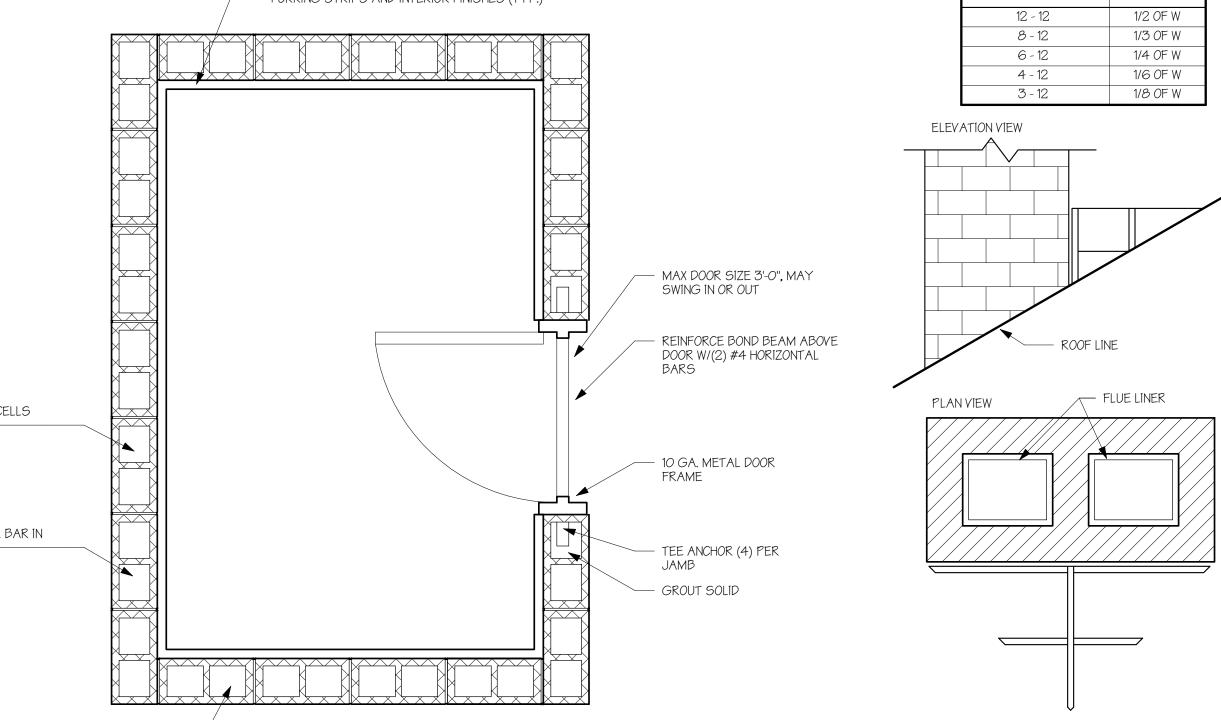


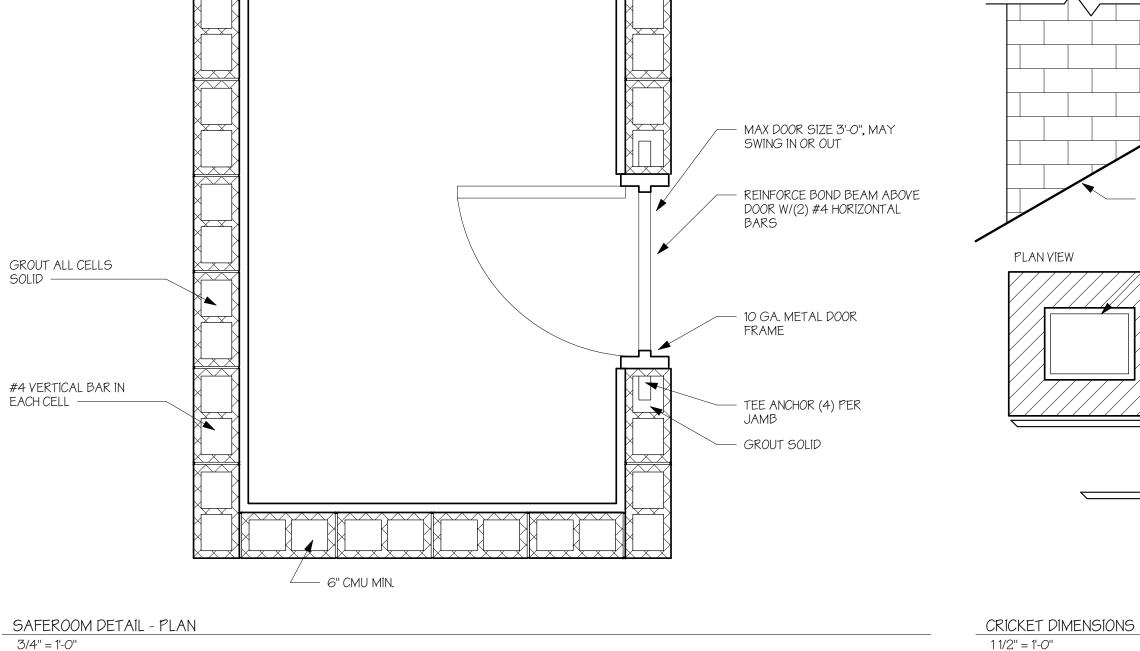


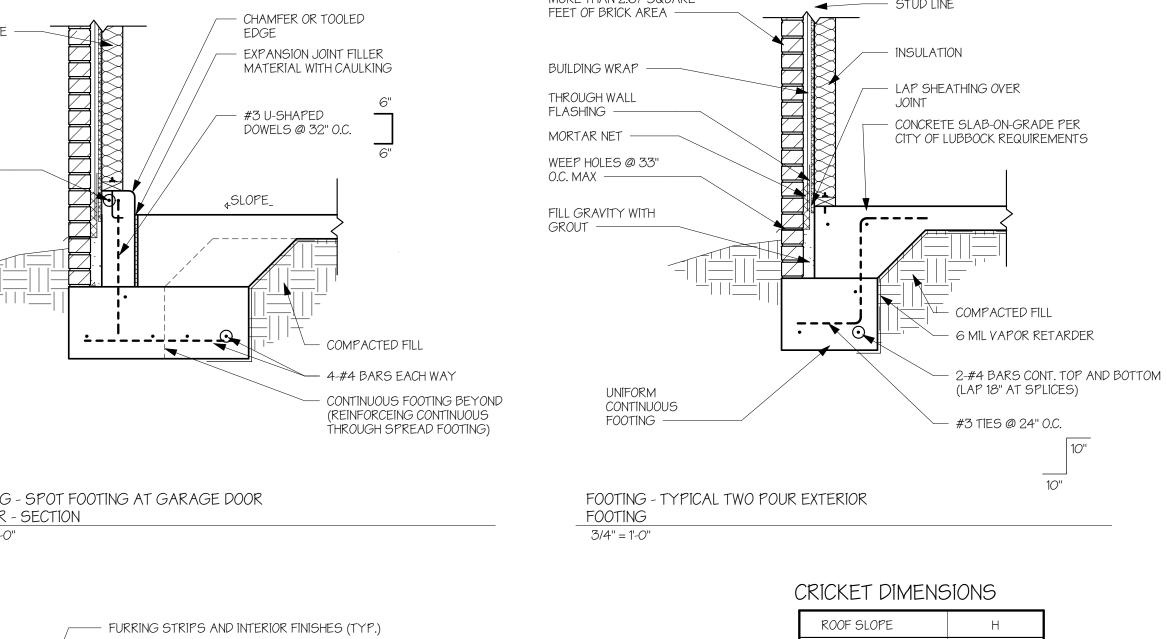




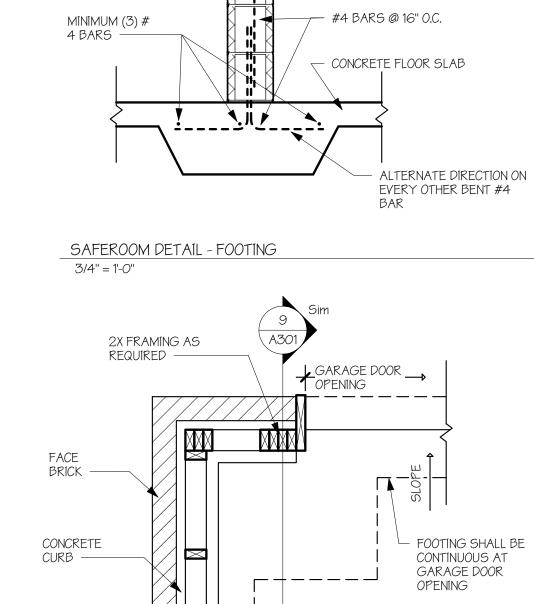








FACE BRICK WITH BRICK TIES



IRC WALL BRACING PROVISIONS Continuous Wood Structural Panel Sheathing Method

Minimum Widths Adjacent to Openings (Adapted from the IRC Table R602.10.5)

	8' Wall Height (1)
Adjacent Opening Height (2)	Braced Wall Panel Length (min.) (3)
3' (38% of wall ht.)	24"
4' (50% of wall ht.)	24"
5' (62.5% of wall ht.)	24"
6' (75% of wall ht.)	32"
6'8" (83% of wall ht.)	32"
7' (88% of wall ht.)	48"
Garage Door Return	24" (4:1 aspect ratio), or
Garage Door Return	16" (6:1 aspect ratio) Portal Frame*
	9' Wall Height (1)
Adjacent Opening Height (2)	Braced Wall Panel Length (min.) (3)
3' (33% of wall ht.)	27"
4' (44% of wall ht.)	27"
5' (56% of wall ht.)	27"
6' (67% of wall ht.)	36"
6'8" (74% of wall ht.)	36"
7' (78% of wall ht.)	36"
8' (89% of wall ht.)	54"
Garage Door Return	27" (4:1 aspect ratio), or
Garage Door Return	18" (6:1 aspect ratio) Portal Frame*
	10' Wall Height (1)
Adjacent Opening Height (2)	Braced Wall Panel Length (min.) (3)
3' (30% of wall ht.)	30"
4' (40% of wall ht.)	30"
5' (50% of wall ht.)	30"
6' (60% of wall ht.)	30"
6'8" (67% of wall ht.)	40"
7' (70% of wall ht.)	40"
8' (80% of wall ht.)	40"
9' (90% of wall ht.)	60"
Garage Door Return	30" (4:1 aspect ratio), or
Garage Door Return	20" (6:1 aspect ratio) Portal Frame*

1) Measured from foundation to top of top plate

2) Rough opening height to bottom of header

3) Total width of full-height WSP sheathing panel adjacent to opening 4) Wall panel length reductions allowed by R602.10.5 are already taken into account by this table; however, the total length of braced wall panels in any braced wall ine (see table 602.10.1) may be

reduced by the following amounts for the opening heights shown:

a. 90% when no opening in the braced wall line exceeds 85% of the wall height b. 80% when no opening in the braced wall line exceeds 67% of the wall height

* A site-built garage portal frame, installed as per attached without embedded anchors. The version

approved in the 2004 code cycle which uses embedded anchors, may be used to accommodate narrower wall widths (down to 16") than shown by the above.

ELECTRCAL LEGEND 110 OUTLET و٩٩ VANITY LIGHT 220 OUTLET SPOT LIGHT 110 OUTLET - GROUND FAULT INTERUPT SPOT LIGHT MOTION ACTIVATED 110 OUTLET - WATER PROOF HEAT/VENT/LIGHT COMBINATION FLOOR OUTLET VENT/LIGHT COMBINATION 2 LIGHT FLUORESCENT TELEPHONE JACK TV/DATA JACK 4 LIGHT FLUORESCENT WALL SWITCH CHANDELIER THERMOSTAT DOORBELL CHIME PRE-WIRE GARAGE DOOR OPENER WALL MOUNTED FIXTURE GAS BARB CEILING MOUNTED FIXTURE SHOWER FIXTURE RECESSED CAN WALL WASH RECESSED CAN HOSE BIB SMOKE DETECTOR & CARBON MONOXIDE ALARM

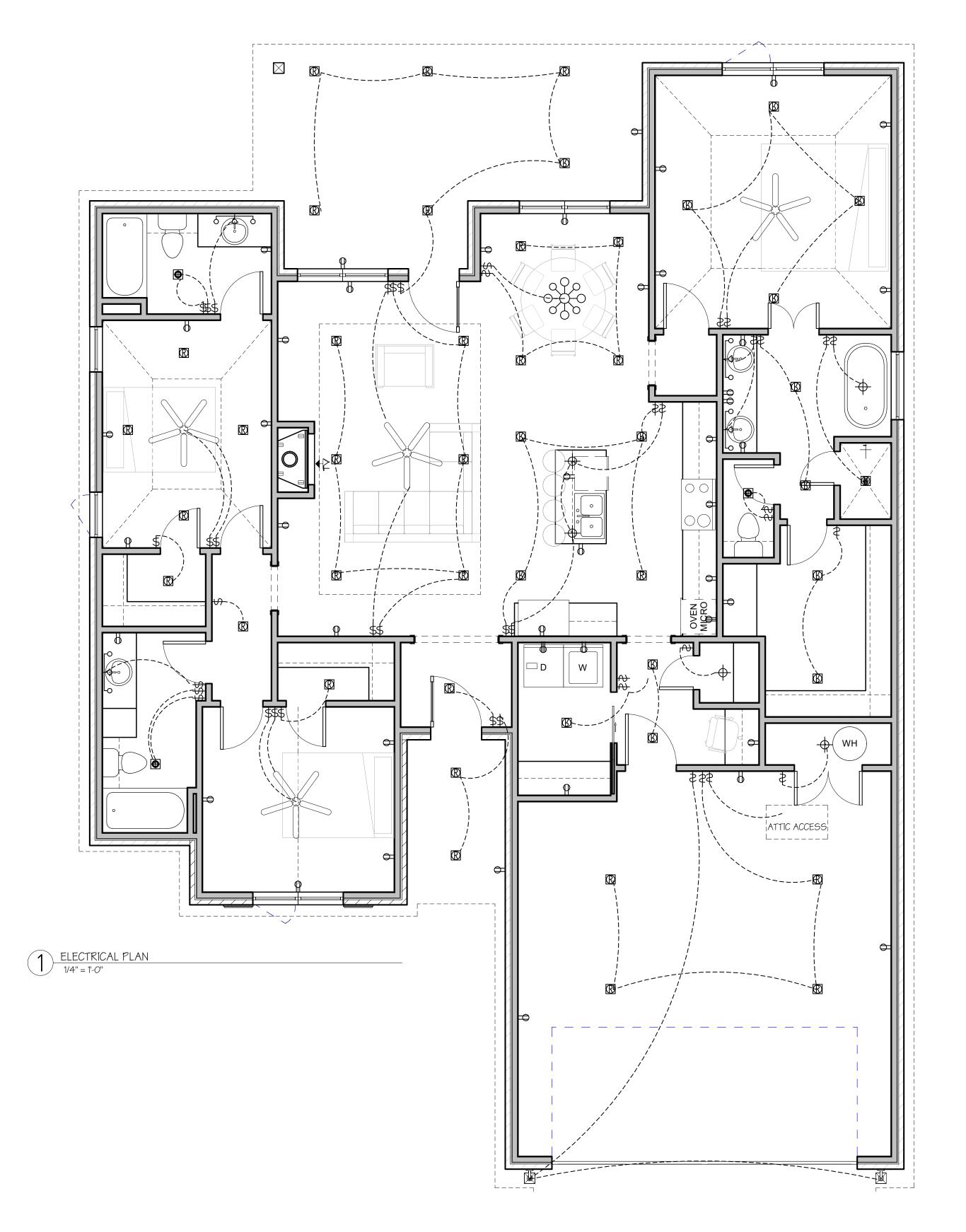
ELECTRICAL NOTES:

- 1. ELECTRICAL COMPONENTS & EQUIPMENT SHALL MEET OR EXCEED ALL N.E.C. AND LOCAL
- INSTALLATIONS SHALL COMPLY WITH ALL ENTITIES HAVING JURISDICTION.
 CONTRACTOR SHALL OBTAIN OWNER APPROVAL FOR ALL FIXTURE SELECTIONS AND
- LOCATIONS.

 4. VERIFY APPLIANCE AND EQUIPMENT ELECTRICAL REQUIREMENTS.

 5. VERIFY SECURITY SYSTEM & INTERCOM W/BUILDER.
- VERIFY CABLE/DATA/TELEVISION JACK LOCATIONS PRIOR TO INSTALLATION.
- VERIFY ALL FLOOR OUTLETS AS PER OWNER.
- 8. VERIFY ALL LIGHTING IN KITCHEN, BREAKFAST, & LIVING ROOM. VERIFY ALL STEREO, INTERCOM, & COMPUTER WIRERING AS PER OWNER.
- 10. VERIFY ALL OUTLETS ON EXTERIOR OF HOUSE. 11. ALL EXTERIOR ELECTRICAL OUTLETS/FIXTURES TO BE WEATHER PROOF.
- 12. VERIFY ALL OUTLETS IN SOFFITS. 13. VERIFY ALL EXTERIOR TREE LIGHING & LANDSCAPE LIGHTING.
- 14. PROVIDED LIGHTING THROUGHOUT ATTIC. 15. VERIFY ELECTRICAL FOR ATTIC FANS.
- 16. FIELD VERIFY LOCATION OF POWER TO BE BROUGHT TO HOUSE.
 17. ELECTRICAL AND LIGHTING LAYOUT IS REFERENCE ONLY. FINAL LAYOUT TO BE VERIFIED BY

CONTRACTOR PRIOR TO PERFORMING WORK.

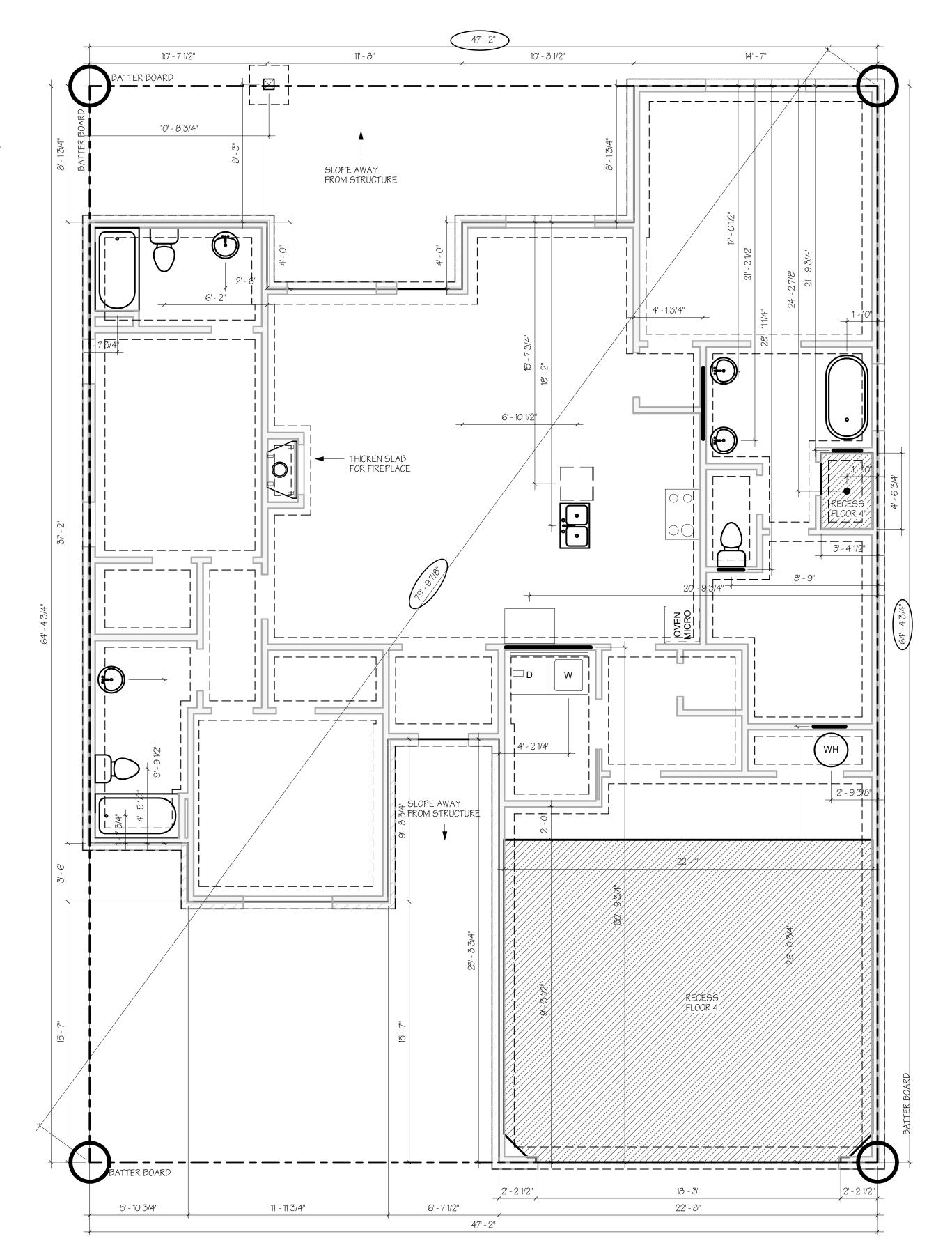


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FOOTING NOTES:

FOLLOWING ARE ADDITIONAL COMMENT TO BUILDERS AS A REMINDER TO CONSIDER WHEN SELECTING FOUNDATION DETAILS:

- ON LOTS THAT REQUIRE MORE THAN TWO FEET OF FILL AT ANY POINT, CHECK WITH THE INSPECTION DEPARTMENT FOR DIRECTION AS TO NEEDS FOR ENGINEERED FOUNDATION
- 2. REQUIREMENT OF SAND FILL REQUIREMENT OF VAPOR RETARDER
- 4. REQUIREMENT OF PROPER FILL MATERIAL AND COMPACTION OF ALL TRENCHES IN
- 5. CONSIDER WHERE CONCENTRATED LOAD POINTS WILL OCCUR AND CONSIDER ADDITIONAL
- CONCRETE SUPPORT AT THOSE LOCATIONS.
 6. ADJUST FOOTINGS AT ZERO LOT LINES NOT TO ENCROACH ON ADJACENT LOT. 7. CONSIDER FOOTINGS AND FOUNDATION DETAILS AT BASEMENT LOCATIONS AND IT'S
- IMPACT ON MAIN FLOOR FOUNDATION ABOVE.
- 8. NOTE REQUIREMENTS FOR TERMITE TREATMENT 9. BUILDER SHOULD BE KNOWLEDGEABLE ABOUT EXISTING NATURAL SOILS, INFORMATION FROM DEVELOPER OR PERFORM TEST TO DETERMINE SOILS INFORMATION PRIOR TO CONSTRUCTION ON LOT.



SITE PLAN NOTES:

- REFERENCE CIVIL SHEETS FOR ALL SITE DEMOLITION. REFERENCE CIVIL SHEEETS FOR FIRE LANE STRIPING.
- REFERENCE CIVIL SHEETS FOR IRRIGATION SLEEVE LOCATION.
- 4. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. 5. ALL NEW LANDSCAPED AREAS SHALL RECEIVE 6" THICK TOPSOIL INSTALLED TO 2" BELOW T.O.C. ALL ADDITIONAL LANDSCAPING
- IMPROVEMENTS BY OWNER.
- 6. PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUT LOCATIONS TERMINATING IN LANDSCAPED AREAS.
- 7. REMOVE ALL EXISTING CURB & GUTTER PLUS ANY EXISTING SITE IMPROVEMENTS AS REQUIRED BY THE WORK.

